

VMJ'S DEVELOPMENT

2-STORY DUPLEX & 1-STORY TWO ADUs.

729-731 W. 4TH AVE., LA HABRA, CA 90631

DRAWING SYMBOLS	CONTACT INFORMATION	PROJECT INFORMATION	SHEET INDEX																																																																																				
<p> 1 DOOR NUMBER A WINDOW NUMBER A SECTION NUMBER A SHEET NUMBER A DETAIL NUMBER A SHEET NUMBER A REVISION W/ CLOUD AROUND REVISED AREA A NOTE SYMBOL A GROUND COVER A SHRUBS A EXIST. WELL TREE TO REMAIN A NORTH SIGN A LAVATORY A WATER CLOSET A URINE A SINGLE DOOR A DOUBLE DOOR A WINDOW A EXIST. WALL TO REMAIN A EXIST. WALL TO BE REMOVED A NEW WALL A WOOD, FRAMING (CONTINUOUS MEMBER) A WOOD, FRAMING (INTERRUPTED MEMBER) A EARTH A CONCRETE A PLYWOOD A GYPSUM BOARD, PLASTER A STUCCO A INSULATION, BATT </p>	<p>OWNER: VMJ CO LLC/MICHELE CORTES 2651 SATURN ST., BREA, CA 92821 E-MAIL: cortesvincent@gmail.com TEL: (562) 688-9508</p> <p>APPLICANT: STEVEN LETRAN 960 N. TUSTIN ST., STE. 326, ORANGE, CA 92867 E-MAIL: STEVEN@SLPDESIGNINC.COM TEL: (714) 388-8996</p>	<p>PROJECT ADDRESS: 729-731 W. 4TH AVE., LA HABRA, CA 90631</p> <p>PROJECT DATA: APR: 298-051-03 LOT: 24 TRACT: 362 ZONE: R-2 LOT SIZE: 7,808 SF. OCCUPANCY: R-3/U TYPE OF CONSTRUCTION: V-B WITH AUTOMATIC SPRINKLER SYSTEM</p> <p>APPLICABLE 2022 CRC, CBC, CMC, CPC, CEC & OCA CODES. 2012 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CG), AND CITY OF LA HABRA MUNICIPAL CODES PROVIDE NEW AN AUTOMATIC SPRINKLER SYSTEM PER NPS 130 IN SEPARATED PERMIT.</p> <p>PROJECT STATISTICS: A</p> <p>EXISTING: (TO BE DEMOLISHED) EXIST. 3 HOUSES LIVING AREAS ----- 2,287 SF. EXIST. 1-CAR GARAGE ----- 227 SF.</p> <p>PROPOSED A 2-STORY DUPLEX & 2 ADUs:</p> <p>UNIT 1: 2 BEDROOMS/3 BATHROOMS</p> <p>a. 1ST FLOOR: +LIVING AREA -----486 SF. +PORCH AREA -----4 SF. +2-CAR GARAGE AREA -----471 SF. +GARAGE PORCH AREA -----26 SF.</p> <p>b. 2ND FLOOR: +LIVING AREA -----999 SF. +DECK & BALCONY AREA -----94 SF.</p> <p>TOTAL LIVING AREA -----1,485 SF. PORCH AREAS -----30 SF. 2-CAR GARAGE AREA -----471 SF. DECK & BALCONY AREA -----94 SF.</p> <p>UNIT 2: 2 BEDROOMS/3 BATHROOMS</p> <p>a. 1ST FLOOR: +LIVING AREA -----486 SF. +PORCH AREA -----4 SF. +2-CAR GARAGE AREA -----471 SF. +GARAGE PORCH AREA -----26 SF.</p> <p>b. 2ND FLOOR: +LIVING AREA -----999 SF. +DECK & BALCONY AREA -----94 SF.</p> <p>TOTAL LIVING AREA -----1,485 SF. PORCH AREAS -----30 SF. 2-CAR GARAGE AREA -----471 SF. DECK & BALCONY AREA -----94 SF.</p> <p>ADU 1: 2 BEDROOMS/1 BATHROOM TOTAL LIVING AREA -----587 SF.</p> <p>ADU 2: 2 BEDROOMS/1 BATHROOM TOTAL LIVING AREA -----587 SF.</p> <p>TOTAL: BUILDING 01 AREA -----4,160 SF. BUILDING 02 AREA -----1,174 SF.</p> <p>REQUIRED PARKING STALL: (2.5x2) + 1 = 6 STALLS A PROVIDED PARKING STALL: 2(GARAGE)+2(PARKING) = 6 STALLS REQUIRED USABLE YARD AREA: 1,000 SF. PROVIDED USABLE YARD AREA: 618 + 300 + (85x2) = 1,088 SF.</p> <p>LOT COVERAGE: (486+30+587)x2 = 2,206 SF. ----- 2,206 X 100 = 28.25% < 35% 7,808</p> <p>PARKING REQUIREMENT: NO ADDITIONAL PARKING REQUIRED SINCE THE PROJECT LOCATES 0.4 MILES FROM THE LA HABRA-MONTE VISTA BUS STOP / ID. 4362.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NUM.</th> <th>SHEET</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>01</td><td>T.0</td><td>PROJECT INFORMATION</td></tr> <tr><td>02</td><td>T.1</td><td>PROJECT'S PERSPECTIVE AND COLORED ELEVATIONS</td></tr> <tr><td>03</td><td>T.2</td><td>PROJECT'S MATERIALS</td></tr> <tr><td>04</td><td>TS.1</td><td>TOPO SURVEY PLAN</td></tr> <tr><td>05</td><td>A.1</td><td>PROPOSED SITE PLAN</td></tr> <tr><td>06</td><td>A.1a</td><td>APPARATUS APPROVED PLAN AND FIRE APPROVED LETTER</td></tr> <tr><td>07</td><td>A.1b</td><td>VEHICLE PARKING & GARAGE TURNING PLANS</td></tr> <tr><td>08</td><td>A.1c</td><td>VEHICLE PARKING TURNING PLAN AND BLOCK WALL</td></tr> <tr><td>09</td><td>A.2</td><td>1ST FLOOR PLAN AND DOOR & WINDOW SCHEDULE</td></tr> <tr><td>10</td><td>A.3</td><td>2ND. FLOOR PLAN</td></tr> <tr><td>11</td><td>A.4</td><td>ROOF PLANS AND SECTIONS A-A & B-B</td></tr> <tr><td>12</td><td>A.5</td><td>UNITS 1 & 2 ELEVATIONS</td></tr> <tr><td>13</td><td>A.6</td><td>ADUs 1 & 2 ELEVATIONS</td></tr> <tr><td>14</td><td>T</td><td>LANDSCAPE COVER SHEET</td></tr> <tr><td>15</td><td>LP.1</td><td>PLANTING PLAN</td></tr> <tr><td>16</td><td>LPD.1</td><td>PLANTING DETAILS</td></tr> <tr><td>17</td><td>LI.1</td><td>IRRIGATION PLAN</td></tr> <tr><td>18</td><td>LID.1</td><td>IRRIGATION DETAILS</td></tr> <tr><td>19</td><td>LID.2</td><td>IRRIGATION DETAILS</td></tr> <tr><td>20</td><td>LLC.1</td><td>IRRIGATION LEGEND AND CALCUALTIONS</td></tr> <tr><td>21</td><td>LSA.1</td><td>IRRIGATION SCHEDULE AND AUDIT</td></tr> <tr><td>22</td><td>LHZ.1</td><td>HYDROZONE PLAN</td></tr> <tr><td>23</td><td>LSM.1</td><td>SOIL MANAGEMENT PLAN</td></tr> <tr><td>24</td><td>LS.1</td><td>SPECIFICATIONS</td></tr> <tr><td>25</td><td>LS.2</td><td>SPECIFICATIONS</td></tr> <tr><td>26</td><td>1 OF 2</td><td>GRADING NOTES</td></tr> <tr><td>27</td><td>2 OF 2</td><td>PRECISE GRADING PLAN AND LEGEND</td></tr> </tbody> </table>	NUM.	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	<p>1. THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.</p> <p>2. HOUSE NUMBER TO BE VISIBLE AND LEGIBLE FROM STREET. (MIN. 4" HIGH BY 7" WIDE) CRC 319-PAINT CURB TO MATCH EXISTING TO ADD NEW ADDRESS.</p> <p>3. DEPUTY INSPECTORS ARE REQUIRED TO BE REGISTERED WITH THE CITY OF WESTMINSTER.</p> <p>4. EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WND OR SEISMIC FORCE-RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER'S AUTHORIZED AGENT PRIOR TO THE COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF AWARENESS OF THE SPECIAL REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION. (2019 BC 1704.4)</p> <p>5. SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, LANDSCAPE, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION.</p> <p>6. SEPARATE PERMIT REQUIRED-ALL SYSTEMS TO BE INTEGRATED WITH IN NEW STRUCTURE. PERMIT MUST BE OBTAINED PRIOR TO INSPECTION OF FRAMING, MECHANICAL, ELECTRICAL AND PLUMBING.</p> <p>7. CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE PROJECT DESIGNER'S HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE PROJECT DESIGNERS.</p> <p>8. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.</p>																																																																																						
	SCOPE OF WORK																																																																																						
	<p>PROPOSED NEW 2-STORY DUPLEX AND 2 DETACHED ADUs: -4,144 SF. LIVING AREA -976 SF. GARAGE AREA -44 SF. PORCH AREA -188 SF. DECK AREA</p>																																																																																						
	DEFERRED ITEMS																																																																																						
	<p>1. SOLAR PV SYSTEM 2. FIRE SPRINKLER SYSTEM 3. NEW APPROACH DRIVEWAY</p> <p>(***) Deferred submittals to be reviewed by project Architect or Engineer of record and certified prior to submittal for plan review.</p>																																																																																						

VICINITY MAP
NTS



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PROJECT NAME:
VMJ'S DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADUs.
729-731 W. 4TH AVE.
LA HABRA, CA 90631

SHEET TITLE

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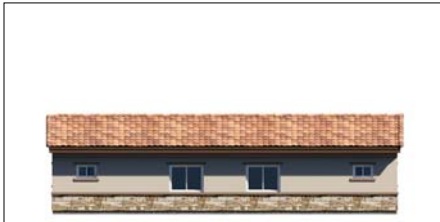
REVISIONS

▲	NOV. 08, 2023
▲	JUL. 07, 2024
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DATE	MAY 04, 2023
JOB NO.	DOCUM792-686
DRAWN	PP.
CHECKED	SL.
SCALE	AS NOTED
SHEET	T.0
OF	--- SHEETS



PERSPECTIVE



ADU - NORTH ELEVATION



ADU - WEST ELEVATION



NORTH ELEVATION



WEST ELEVATION



ADU - SOUTH ELEVATION



ADU - EAST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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 EMAIL: INFO@SLPDESIGN.COM



PROJECT NAME:

VM'S DEVELOPMENT
 2-STORY DUPLEX & 1-STORY TWO ADUs.
 729-731 W. 4TH AVE.
 LA HABRA, CA 90631

SHEET TITLE	
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REVISIONS	
▲	NOV. 30, 2023
▲	JUL. 07, 2024
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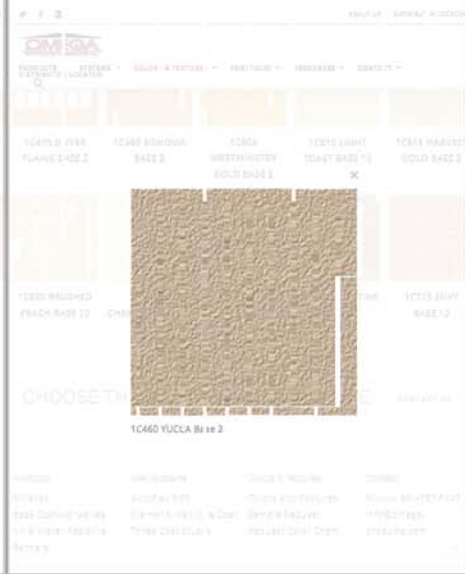
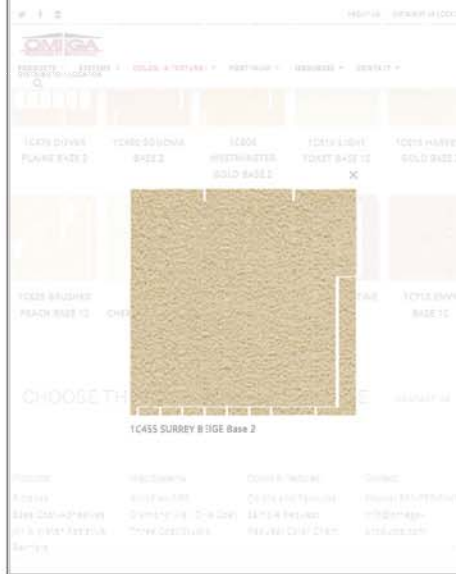


3636 Piedmont Blend

Profile	Weight	Description	Category
Capstone	Conventional	Blend of Terracotta, Marsden, Brown	Conventional

Regions Available
California, Great Plains, Hawaii, Intermountain, Pacific Northwest, Southwest

Ref	Appl Ref. (3 yr)	Blk	Appl Exp. (3 yr)	Sh	Appl Sh (3 yr)	CMC
0.18	0.19	3.8	5.64	14	19	0818-0068



A CONCRETE COOL TILE CLASS "B" BY EAGLE ROOFING TILE INC., ICC ESR-1,900 OR EQUAL, CAPISTRANO - 3636 PIEDMONT BLEND

B PAINTED WOOD FASCIA, METAL CHIMNEY SPARK ARRESTOR, AND WOODEN BRACKET BY SHERWIN WILLIAM, SW-7041, VAN DYKE BROWN

C STUCCO EAVE MOLDING AND EXTERIOR WALL STUCCO TYP. BY OMEGA STUCCO, 1C455 SURREY BEIGE-BASE 2

E STUCCO BRACKET AND STUCCO DOOR/WINDOW TRIM TYP. BY OMEGA STUCCO, 1C460 YUCCA-BASE 2



K CULTURED STONE VENEER BY OWEN CORNING ICBO #NER-358 NATURAL BROWN-COUNTRY LEDGESTONE-ASPEN



N WBS MID AMERICA 4 BOARD & BATTEN JOINED VINYL SHUTTER 010-MUSKET BROWN

J METAL PAINTED GARAGE DOOR TYP. BY SHERWIN WILLIAM, SW-7039, VIRTUAL TAUPE

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PROJECT NAME:

VIA'S DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADU.
729-731 W. 4TH AVE.
LA HABRA, CA 90631

SHEET TITLE

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NOV. 30, 2023
JUL. 07, 2024

DATE	MAY 04, 2023
JOB NO.	DOCUM782-586
DRAWN	PP.
CHECKED	SL.
SCALE	AS NOTED
SHEET	T.2
OF	--- SHEETS

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ABBREVIATION

AC	ASPHALT CONCRTE
BX	BOTTOM X
	CENTER LINE
DIA	DIAMETER
EP	EDGE PAVEMENT
FD	FOUND
FF	FINISH FLOOR
GSP&W	GEAR SPIKE & WASHER
IP	IRON PIPE
	PROPERTY LINE
RET WALL	RETAINING WALL
RFF	RAISE FINISH FLOOR
S&W	SPIKE & WASHER
TW	TOP WALL
WM	WATER METER

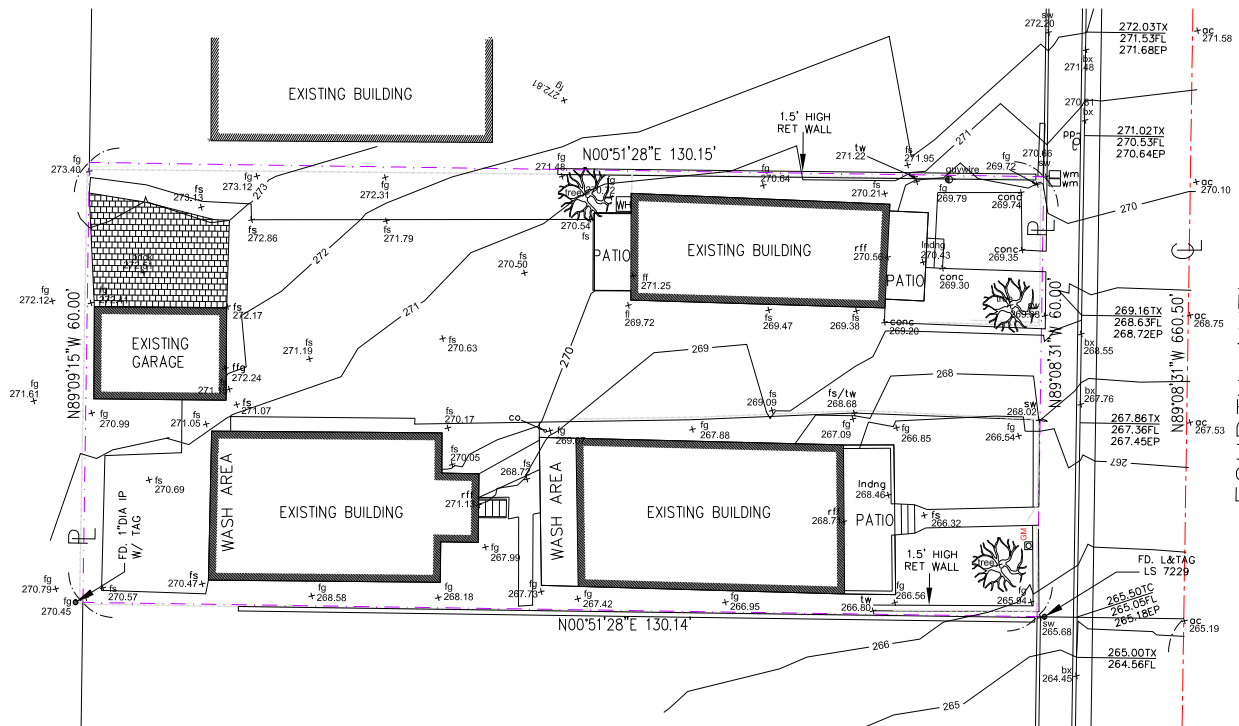
PROPERTY DESCRIPTION

LOT 24 IN OF TRACT No. 362, MCFADDEN ADDITION TO LA HABRA, IN THE CITY OF LA HABRA, COUNTY OF ORANGE, STATE CALIFORNIA, AS PER MAP RECORDED IN BOOK 21, PAGE 20 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. APN: 298-051-03

BENCH MARK

FOUNDED 3 3/4" DIA. USCGS BRONZED DISK STAMPED "T 779 1946", SET IN THE WEST SIDE OF SIDEWALK LOCATED IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF MONTE VISTA DR 0.25 FROM THE CENTERLINE OF LA HABRA BLVD. 16FT. NORTHERLY OF CENTERLINE OF RAILWAY.

ELEV: 272.878/NAVD88, 2005



FOURTH AVENUE

TOPO SURVEY PLAN
SCALE : 1/8"=1'-0"

SURVEY ENGINEER:

S.L.P. DESIGN & ASSOCIATES
960 N. TUSTIN ST., SUITE 326
ORANGE, CA 92668
TEL: (714)-602-3595
FAX: (714)-602-1115
WWW.SLPDESIGNINC.COM

STAMP:



PROJECT NAME:

V.M.I.C.S. NEW DEVELOPMENT - DUPLEX

729-731 W. 4TH AVE.
LA HABRA, CA 90631

SHEET TITLE

O1	---
O2	---
O3	---
O4	---

REVISIONS

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DATE	APR. 27, 2023
JOB NO.	DOCL792-686
DRAWN	DC.
CHECKED	LP.
SCALE	AS NOTED
SHEET	TS.1
OF --- SHEETS	

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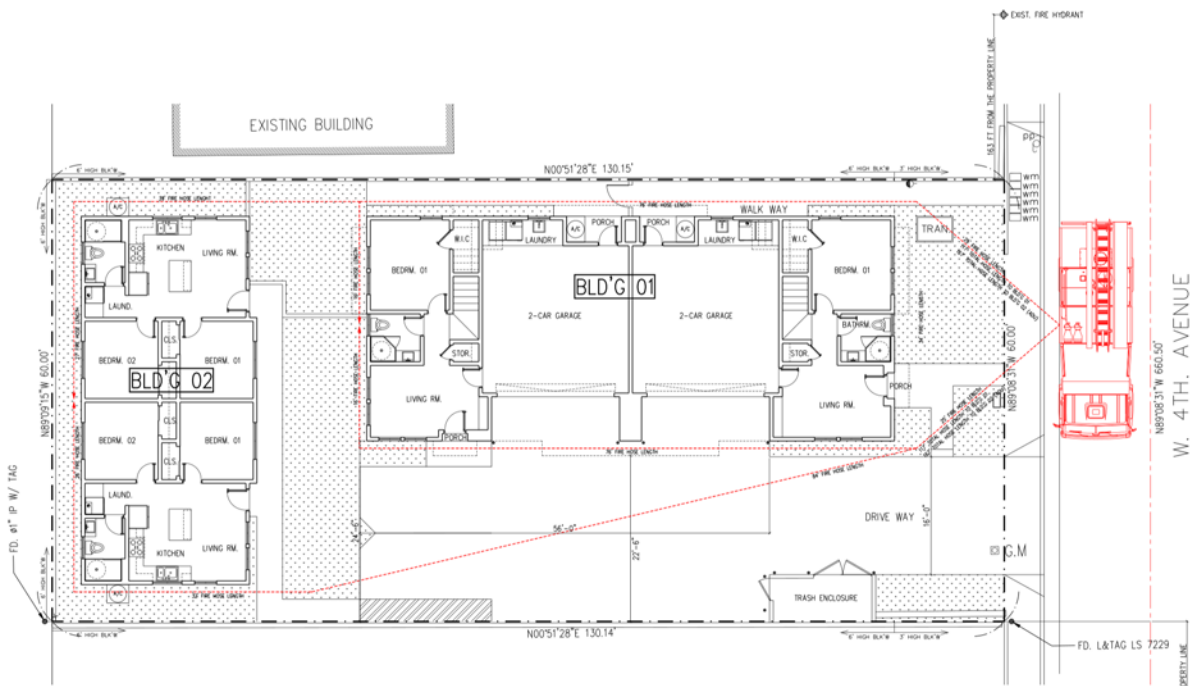
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VIVUS DEVELOPMENT
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DRAWN	PP
CHECKED	SL
SCALE	AS NOTED
SHEET	A.1a
OF --- SHEETS	



County of Los Angeles
 Fire Department
 Fire Prevention Division
 Land Development Unit
APPROVED
 ACCESS REQUIREMENT ONLY
 07/02/2024

County of Los Angeles
 Fire Department
 Fire Prevention Division
 Land Development Unit
APPROVED
 FIRE HYDRANT LOCATION ONLY
 07/02/2024

COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION

Land Development Unit
 5023 Rickanbarack Road
 Compton, CA 90040
 Telephone (323) 890-4243, Fax (323) 890-8783

PROJECT: DR 2PH24-006
 LOCATION: 729-731 W. 4th Ave. La Habra

THE FIRE DEPARTMENT RECOMMENDS CLEARANCE OF THIS PROJECT TO PROCEED TO ADMINISTRATIVE HEARING AS PRESENTLY SUBMITTED WITH THE FOLLOWING CONDITIONS OF APPROVAL.

PROJECT CONDITIONS OF APPROVAL

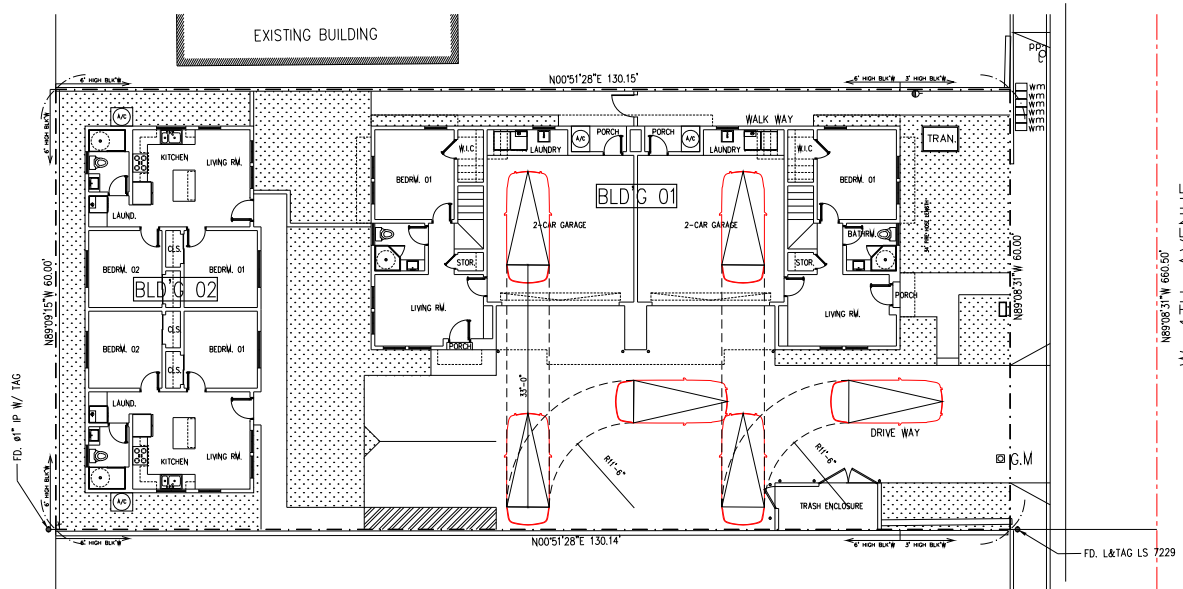
Review and approval by the County of Los Angeles Fire Department, Fire Prevention Engineering Section Building Plan Check Unit is required for this project prior to building permit issuance. Contact the Fire Prevention Engineering Unit at 323.890.4129 for additional Fire Department requirements and EPICLA submittal instructions.

For any questions regarding this report, please contact FPEA Claudia Soiza at 323 890-4243 or at Claudia.sozita@fire-county.org

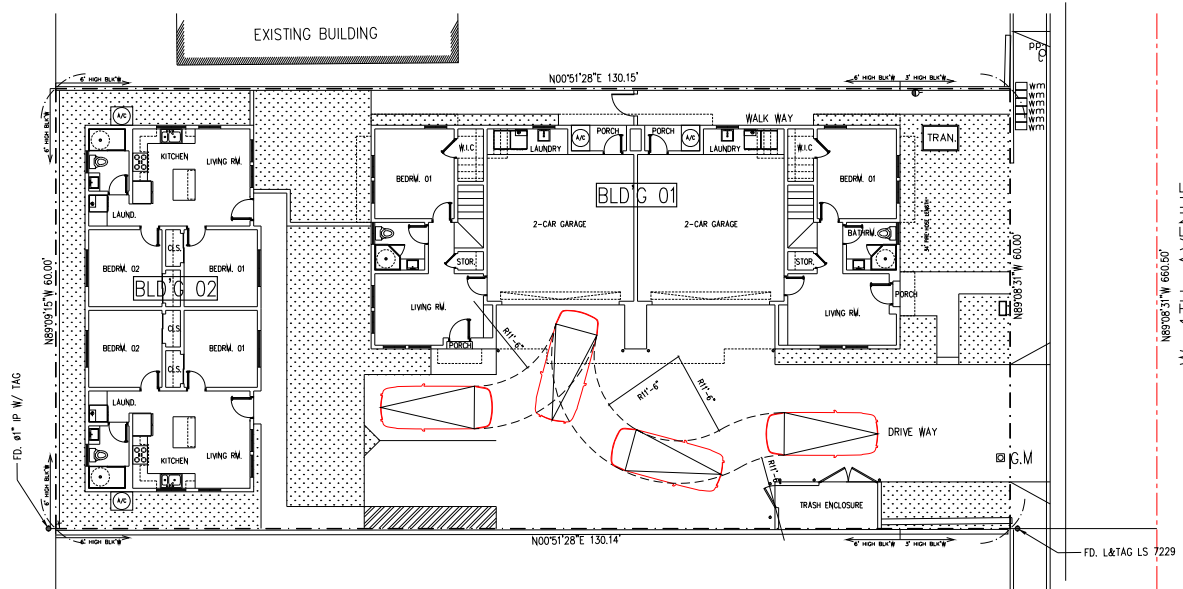
Reviewed by: Claudia Soiza Page 1 Date: July 2nd, 2024

APPARATUS PLAN
 SCALE: 1/8"=1'-0"

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VEHICLE GARAGE TURNING PLAN
SCALE : 1/8"=1'-0"



VEHICLE PARKING TURNING PLAN
SCALE : 1/8"=1'-0"

DESIGNED BY:
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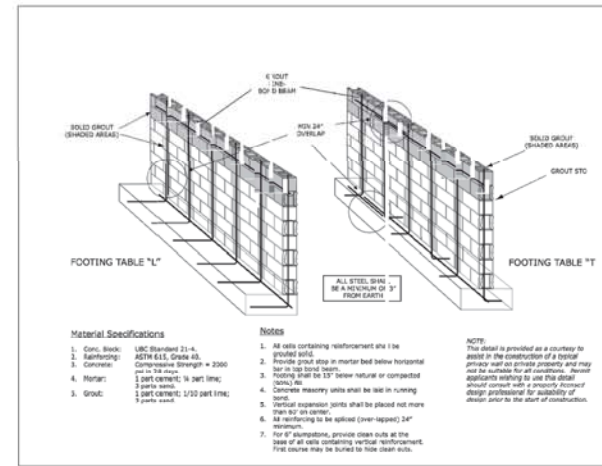
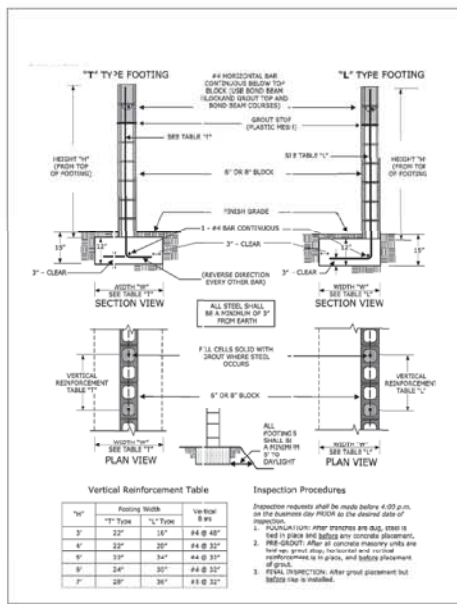


PROJECT NAME:

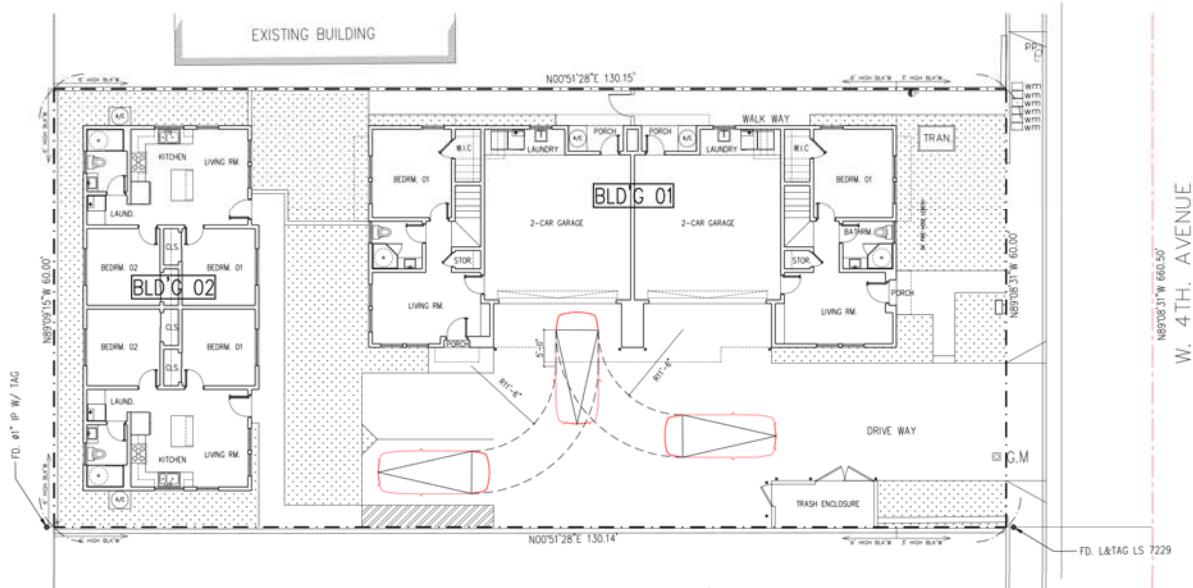
VMA'S DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADUS.
729-731 W. 4TH AVE.
LA HABRA, CA 90631

SHEET TITLE	
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REVISIONS	
▲	NOV. 30, 2023
▲	JUL. 07, 2024
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DATE	MAY 04, 2023
JOB NO.	DOCL792-686
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CHECKED	SL.
SCALE	AS NOTED
SHEET	A.1b
OF --- SHEETS	



BLOCK WALL DETAILS & SPECIFICATIONS



VEHICLE PARKING TURNING PLAN
SCALE: 1/8"=1'-0"

DESIGNED BY:
S.L.P. DESIGN & ASSOCIATES
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PROJECT NAME:
**WMS DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADU's.**
729-731 W. 4TH AVE.
LA HABRA, CA 90631

SHEET TITLE

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SCALE	AS NOTED
SHEET	A.1c
OF	--- SHEETS

DOOR SCHEDULE						
WIDTH	HEIGHT	THK.	H.C./S.C.	TYPE	MATERIAL	REMARK
① 3'-0"	6'-8"	1 3/4"	S.C.	ENTRANCE DOOR	COMPOSITE & TEMP. GLASS	SEE OWNER FOR STYLE
② 2'-8"	6'-8"	1 3/4"	S.C.	20 WALL	STEEL OR COMPOSITE	SEE OWNER FOR STYLE
③ 2'-8"	6'-8"	1 3/4"	S.C.	SLAB DOOR	WOOD	SEE OWNER FOR STYLE
④ 2'-8"	6'-8"	1 3/4"	S.C.	SLAB DOOR	WOOD	SEE OWNER FOR STYLE
⑤ 2'-0"	6'-8"	1 3/4"	S.C.	SLAB DOOR	WOOD	SEE OWNER FOR STYLE
⑥ 2'-8"	6'-8"	1 3/4"	S.C.	SLAB DOOR	WOOD	SEE OWNER FOR STYLE
⑦ 5'-0"	6'-8"	1 3/4"	S.C.	SLIDING DOOR	WHL & TEMP. GLASS	SEE OWNER FOR STYLE
⑧ 10'-0"	7'-0"	1 3/4"	S.C.	GARAGE DOOR	STEEL & TEMP. GLASS	ROLLING UP W/ REMOTE, SEE OWNER FOR STYLE
⑨ 2'-8"	6'-8"	1 3/4"	S.C.	GARAGE ENTRY DOOR	STEEL OR COMPOSITE	SEE OWNER FOR STYLE

WINDOW SCHEDULE									
WIDTH	HEIGHT	TYPE	FRAME	U-FACTOR	SHGC	REMARK			
① 3'-0"	4'-6"	S/HANG	VINYL	0.30	0.23				
② 3'-0"	2'-0"	SLIDING				TEMP. GLASS			
③ 3'-0"	2'-0"	SLIDING				OBSCURED TEMP. GLASS			
④ 3'-0"	4'-0"	SLIDING				TEMP. GLASS			
⑤ 4'-0"	2'-0"	SLIDING							
⑥ 3'-0"	4'-0"	S/HANG							

INTERIOR FINISHING SCHEDULE											
ROOM	FLOOR	BASE	WALLS		CEILING		HEIGHT	MAX. SPACING OF FRAMING MEMBERS	MAX. SPACING OF FASTENERS	SIZE OF NAILS	REMARKS
			MATERIAL	FIN.	MATERIAL	FIN.					
DINING RM.	PORCELAIN TILE	CONC.	5/8" CRP. BD.	1	5/8" CRP. BD.	1	9'-0"	16"	2" AT CEIL.	12" AT WALL	
KITCHEN	PORCELAIN TILE			2		2	9'-0"				GREEN BOARD WATER RESISTANT DRYWALL AS REQUIRED
BATHROOMS	PORCELAIN TILE			2		2	9'-0"				GREEN BOARD/WOODER BOARD/JAMES HARDIE AS REQUIRED
BEDROOMS	ENGINEERED WOOD			1		1	9'-0"				
LIVING ROOM	PORCELAIN TILE			1		1	9'-0"				
LAUNDRY	PORCELAIN TILE			2		2	9'-0"				GREEN BOARD WATER RESISTANT DRYWALL AS REQUIRED
GARAGE	CONCRETE		5/8" TRP. "X" CRP. BD.	1	5/8" TRP. "X" CRP. BD.	1	9'-4"				5/8" TRP. "X" CRP. BD.

ADUs OPENING IN FIRE WALL RATIO

1. FIRE WALL AREA: 50' x 9' = 450 SF.
 2. OPENING AREA: [(3'x2') + (5'x4')] x 2 = 52 SF.
 OPENED WALL RATIO:
 $\frac{52}{450} \times 100 = 11.56\% < 25\%$

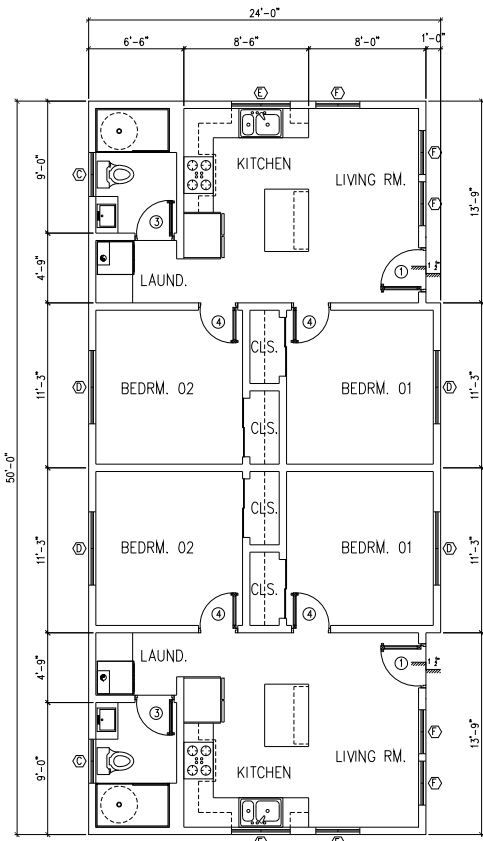
FINISHING KEY :

- Sealed and primed w/ 1-coat flat vinyl.
- Undercoat and finish w/ semi-gloss enamel.
- Sprayed simulated acoustic plaster.
- Tapewall joints.

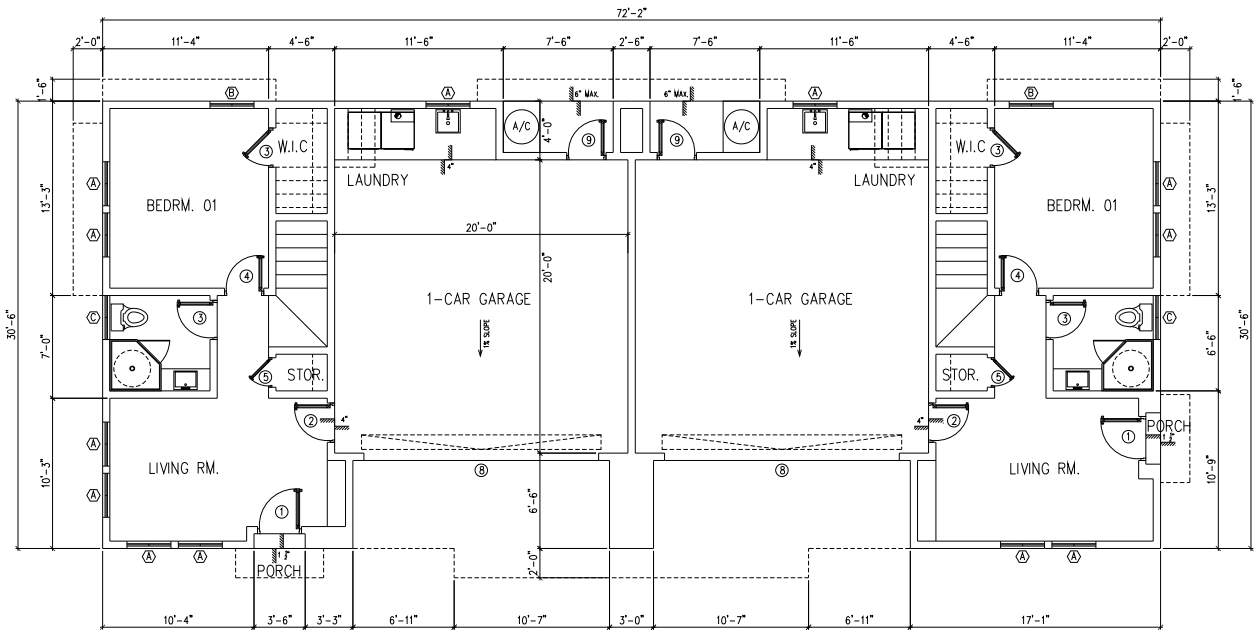
GYP. BD.	APPLICATION	SIZE OF NAILS
1/2"	CEILING	13 gage, 1 3/8" long, 19/64" head; 0.098" dia, 1 1/4" long, annular-ripped; 6d cooler nail, 0.096" dia, 1 5/8" long, 19/64" head; or gypsum board nail, 0.088" dia, 1 5/8" long.
1/2"	WALL	9/32" head
5/8"	CEILING	13 gage, 1 5/8" long, 19/64" head; 0.098" dia, 1 3/8" long, annular-ripped; 6d cooler nail, 0.092" dia, 1 3/8" long, 1/4" head; or gypsum board nail, 0.0915" dia, 1 3/8" long, 19/64" head.
5/8"	WALL	9/32" head

NOTES :

- Wardrobes and closets finished w/ semi-gloss paint.
- Floor finishes change at centerline of door.
- Point grids and registers same as adjacent walls.



FIRST FLOOR PLAN
 SCALE : 1/4"=1'-0"
 ADU. 1 & 2



1ST. FLOOR PLAN
 SCALE : 1/4"=1'-0"
 UNITS 01 & 02

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 EMAIL: INFO@SLPDDESIGN.COM



PROJECT NAME:
VM'S DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADUs.
 729-731 W. 4TH AVE.
 LA HABRA, CA 90631

SHEET TITLE	
01	---
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03	---
04	---

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OF	--- SHEETS

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NOTES:
1. SEE SHEET A.2 FOR DOOR AND WINDOW SCHEDULE.

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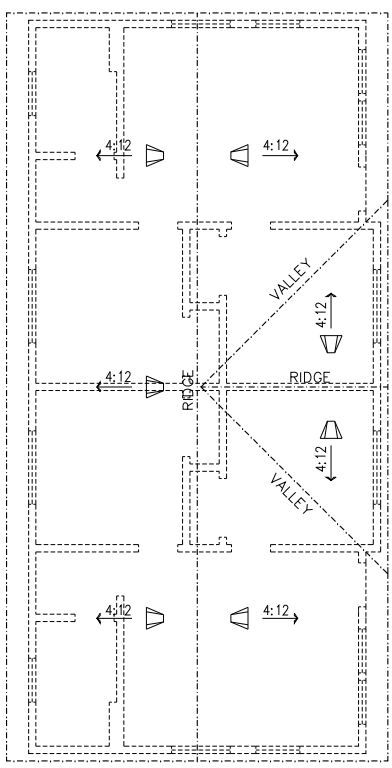


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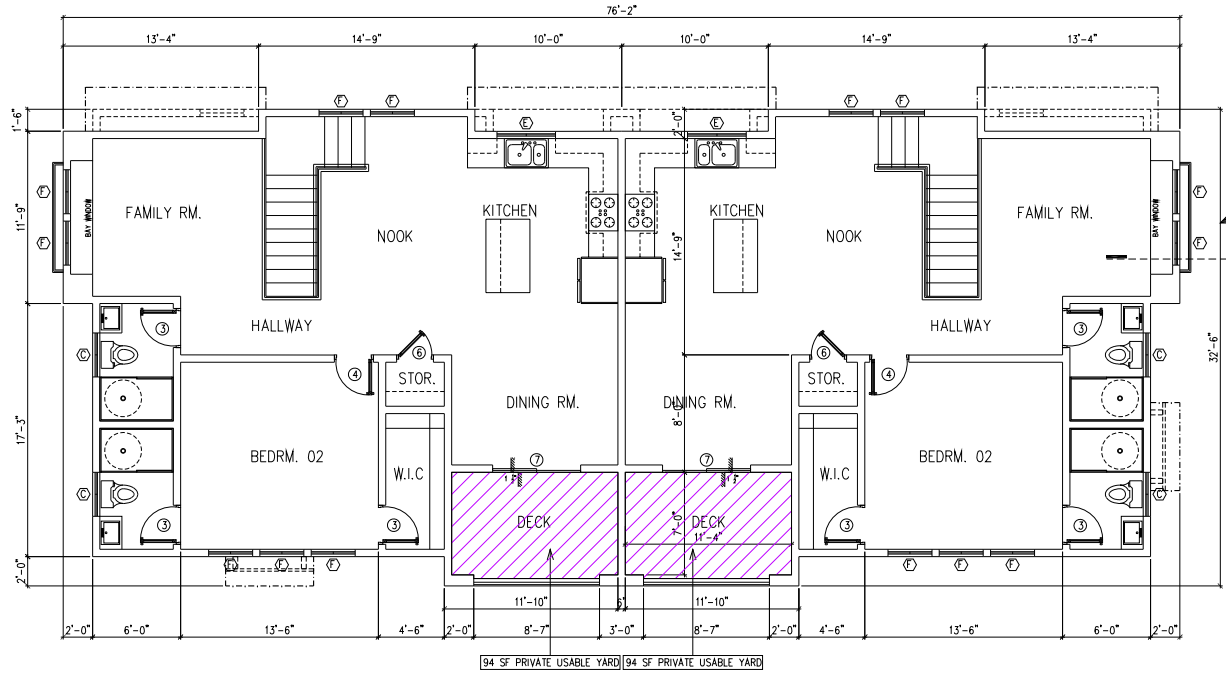
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OF --- SHEETS	



ROOF PLAN
SCALE: 1/4"=1'-0"
ADU. 1 & 2



2ND. FLOOR PLAN
SCALE: 1/4"=1'-0"
UNITS 01 & 02

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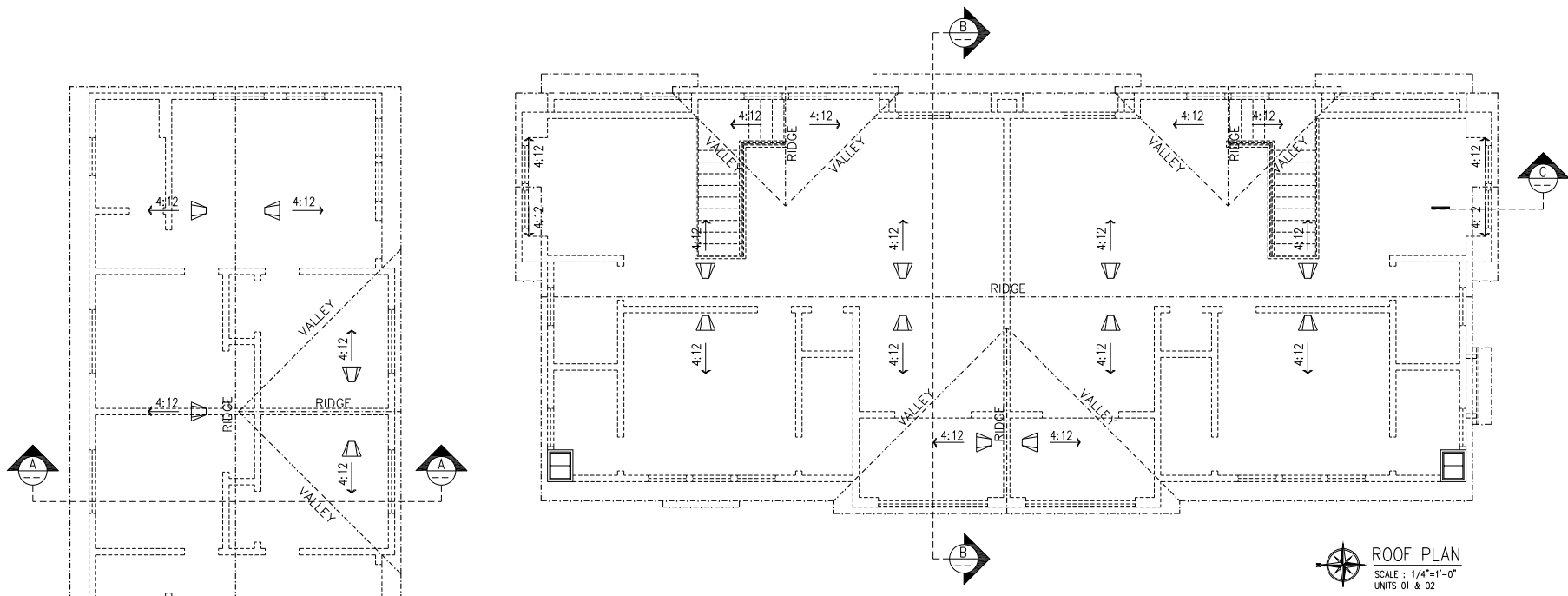


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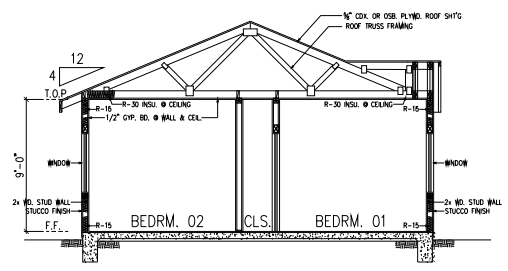
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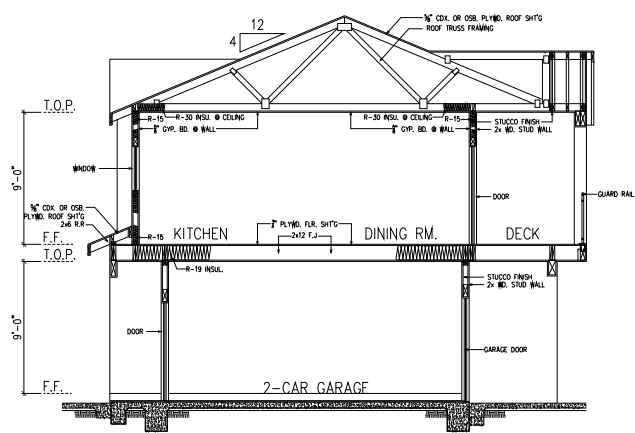


ROOF PLAN
 SCALE: 1/4"=1'-0"
 UNITS 01 & 02

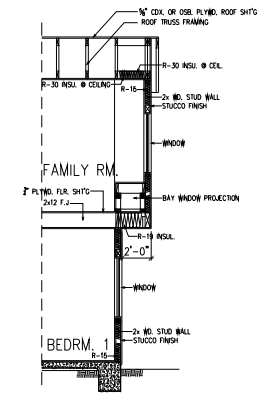
ROOF PLAN
 SCALE: 1/4"=1'-0"
 ADU. 1 & 2



SECTION A-A
 SCALE: 1/4"=1'-0"
 ADU. 1 & 2

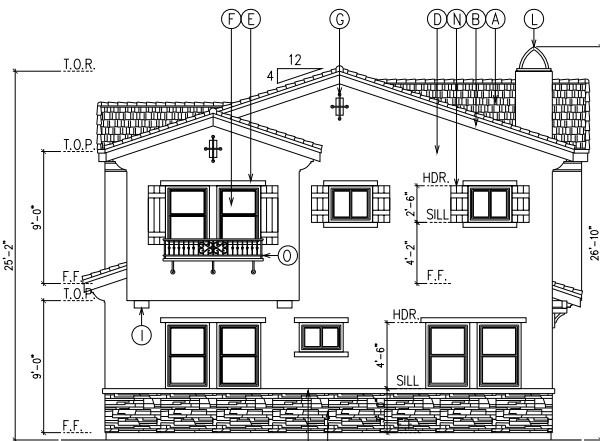


SECTION B-B
 SCALE: 1/4"=1'-0"
 UNITS 1 & 2



SECTION C-C
 SCALE: 1/4"=1'-0"
 UNITS 1 & 2

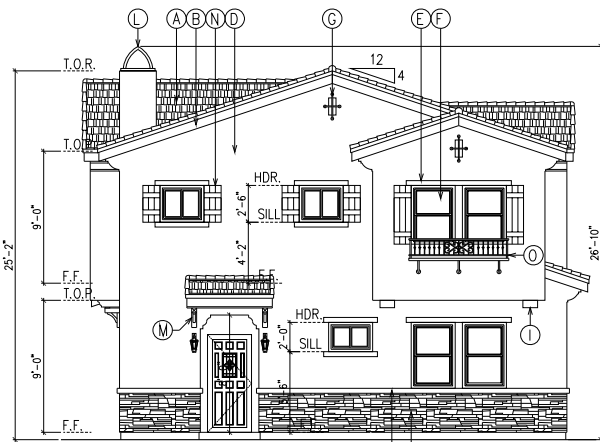
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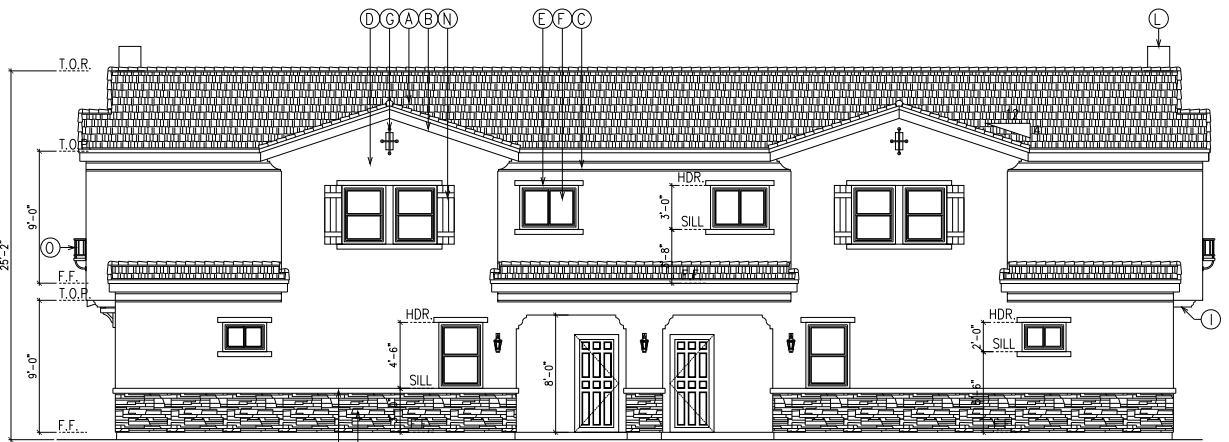
NORTH ELEVATION
SCALE : 1/4"=1'-0"
UNITS 1 & 2



WEST ELEVATION
SCALE : 1/4"=1'-0"
UNITS 1 & 2



SOUTH ELEVATION
SCALE : 1/4"=1'-0"
UNITS 1 & 2



EAST ELEVATION
SCALE : 1/4"=1'-0"
UNITS 1 & 2

ELEVATION LEGEND

DESCRIPTION		COLOR & NOTES	DESCRIPTION		COLOR & NOTES
A	CONCRETE COOL TILE CLASS B MIN. OR EQUAL BY EAGLE ROOFING TILE INC., ICC #ESR-1,900	3636 PIEDMONT BLEND CAPISTRANO	1	STUCCO BRACKET (BY OMEGA STUCCO)	1C460 YUCCA-BASE 2
B	PAINTED WOOD FASCIA (BY SHERWIN WILLIAM)	SW-7041, VAN DYKE BROWN	2	MTL. PAINTED GARAGE DOOR (BY SHERWIN WILLIAM)	SW-7039, VIRTUAL TAUPE
C	STUCCO EAVE MOLDING (BY OMEGA STUCCO)	1C455 SURREY BEIGE-BASE 2	3	CULTURED STONE VENEER BY OWEN CORNING	NATURAL BROWN
D	STUCCO TYP. (BY OMEGA STUCCO)	1C455 SURREY BEIGE-BASE 2	4	ICBO # NER-358	COUNTRY LEDGESTONE _ ASPEN
E	STUCCO DOOR/WINDOW TRIM (BY OMEGA STUCCO)	1C460 YUCCA-BASE 2	5	PAINTED METAL CHIMNEY SPARK ARRESTOR (BY SHERWIN WILLIAM)	SW-7041, VAN DYKE BROWN
F	VINYL FRAMED WINDOW TYP.	WHITE	6	PAINTED WOODEN BRACKET	SW-7041, VAN DYKE BROWN
G	PAINTED METAL DECORATIVE CORNICE VENT (BY SHERWIN WILLIAM)	SW-6991, BLACK MAGIC	7	MBS MID AMERICA 4 BOARD & BATTEN JOINED VINYL SHUTTER	010 MUSKET BROWN
H	PAINTED METAL GUARDRAIL (BY SHERWIN WILLIAM)	SW-6991, BLACK MAGIC	8	PAINTED METAL DECORATIVE WINDOW PLANTER (BY SHERWIN WILLIAM)	SW-6991, BLACK MAGIC

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PROJECT NAME:

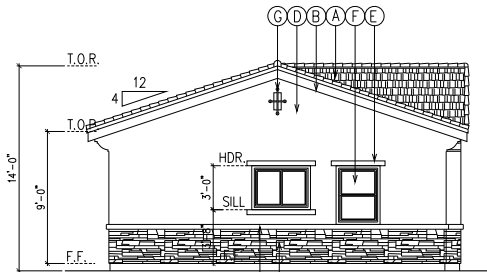
VM'S DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADUs.
729-731 W. 4TH AVE.
LA HABRA, CA 90631

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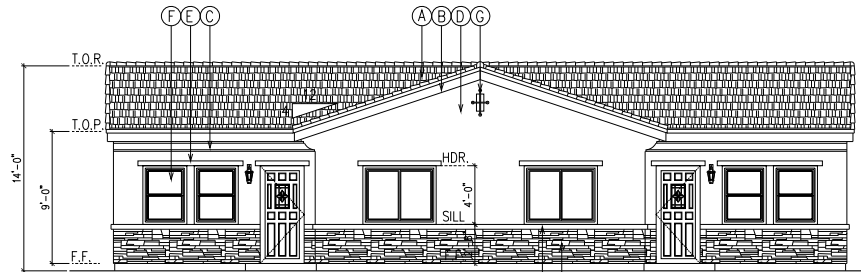
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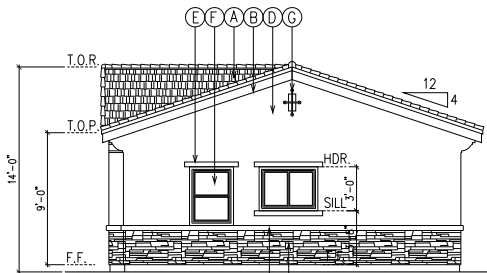
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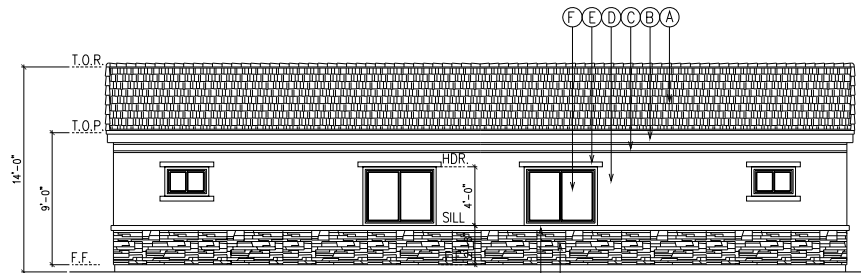
WEST ELEVATION
SCALE : 1/4"=1'-0"
ADU. 1 & 2



SOUTH ELEVATION
SCALE : 1/4"=1'-0"
ADU. 1 & 2



EAST ELEVATION
SCALE : 1/4"=1'-0"
ADU. 1 & 2



NORTH ELEVATION
SCALE : 1/4"=1'-0"
ADU. 1 & 2

ELEVATION LEGEND

DESCRIPTION	COLOR & NOTES	DESCRIPTION	COLOR & NOTES
(A) CONCRETE COOL TILE CLASS B MIN. OR EQUAL BY EAGLE ROOFING TILE INC., ICC #ESR-1,900	3636 PIEDMONT BLEND CAPISTRANO	(1) STUCCO BRACKET (BY OMEGA STUCCO)	1C460 YUCCA-BASE 2
(B) PAINTED WOOD FASCIA (BY SHERWIN WILLIAM)	SW-7041, VAN DYKE BROWN	(2) MTL. PAINTED GARAGE DOOR (BY SHERWIN WILLIAM)	SW-7039, VIRTUAL TAUPE
(C) STUCCO EAVE MOLDING (BY OMEGA STUCCO)	1C455 SURREY BEIGE-BASE 2	(3) CULTURED STONE VENEER BY OWEN CORNING	NATURAL BROWN
(D) STUCCO TYP. (BY OMEGA STUCCO)	1C455 SURREY BEIGE-BASE 2	(4) ICBO # NER-358	COUNTRY LEDGESTONE _ ASPEN
(E) STUCCO DOOR/WINDOW TRIM (BY OMEGA STUCCO)	1C460 YUCCA-BASE 2	(5) PAINTED METAL CHIMNEY SPARK ARRESTOR (BY SHERWIN WILLIAM)	SW-7041, VAN DYKE BROWN
(F) VINYL FRAMED WINDOW TYP.	WHITE	(6) PAINTED WOODEN BRACKET	SW-7041, VAN DYKE BROWN
(G) PAINTED METAL DECORATIVE CORNICE VENT (BY SHERWIN WILLIAM)	SW-6991, BLACK MAGIC	(7) MBS MID AMERICA 4 BOARD & BATTEN JOINED VINYL SHUTTER	010 MUSKET BROWN
(H) PAINTED METAL GUARDRAIL (BY SHERWIN WILLIAM)	SW-6991, BLACK MAGIC	(8) PAINTED METAL DECORATIVE WINDOW PLANTER (BY SHERWIN WILLIAM)	SW-6991, BLACK MAGIC

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PROJECT NAME:
**VIA'S DEVELOPMENT
2-STORY DUPLEX & 1-STORY TWO ADUs.**
729-731 W. 4TH AVE.
LA HABRA, CA 90631

SHEET TITLE
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02 ---
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REVISIONS
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JUL. 07, 2024

DATE: MAY 04, 2023
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SCALE: AS NOTED
SHEET: **A.6**
OF --- SHEETS

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LANDSCAPE IMPROVEMENT PLANS

FOR

3-STORY DUPLEX & TWO 1-STORY ADU'S

729 & 731 W. 4th Avenue

La Habra, CA 90631

General Notes

- GENERAL** - This work is hereby incorporated into and made part of the project plans and specifications, and its provisions shall be carried out by the Contractor. Additionally, all work shall be done in accordance with the applicable sections (latest edition) of the Standard Specifications for Public Works Construction, (Green Book), and the project's specifications, and the 2018 California Building, Plumbing, Mechanical, Electrical and Energy Code.
 - All local, municipal, county and state laws, codes, ordinances, rules, and regulations governing or relating to any portion of the project shall be followed.
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE** - The contractor agrees that he shall assume sole responsibility for job site conditions during the course of construction of this project, including the safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours, and that the contractor shall defend, indemnify, and hold the Landscape Architect harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the Landscape Architect.
- DAMAGE RESPONSIBILITY** - The contractor shall assume full responsibility for any damages imposed, intentionally or accidentally, to existing utilities, buildings, or other amenities, due to the actions of the contractor, contractor's employees and/or contractor's subcontractors.
- TRADE COORDINATION** - Construction and installation of all items within these documents shall require close coordination between trades involved in underground and utility installation, and tree location.
- DOCUMENTATION** - These drawings and notes are the property and copyright of Robert A. Garcia, Landscape Architect and shall not be used on any other work.
 - Written dimensions take preference over scaled dimensions and shall be verified on the job site and any discrepancy shall be brought to the attention of the Owner.
- SITE DERRIS** - The contractor shall keep the premises clean and free of excess equipment, materials and rubbish incidental to his work. All rubble, trash or disposal items resulting from demolition or construction be disposed of at a legal and lawful manner to an approved disposal site. All debris brought onto site shall also be removed by the same party. If debris remains on site for more than 48 hours, unless pre-approved by the city, such debris shall be removed by the property owner at the expense of the party mentioned above.
- LIEN RELEASES** - Unconditional lien releases for labor and material shall be provided by any contractor performing work on the project. Lien releases shall be delivered to the city prior to payment of work mentioned in release.
- FIELD OBSERVATION** - The contractor shall coordinate and verify all field layout, dimensioning of work, grades and elevations, and work schedules unless otherwise noted. The contractor shall carefully inspect the site and shall verify all conditions and dimensions prior to proceeding with any work under this contract. Any discrepancies in these documents shall be brought to the attention of the Owner. The contractor shall not willfully implement any work described in these documents which is obviously in error, interferes with existing site features, or cause project complication of harm.
- INSURANCE** - The contractor shall carry and provide written proof of workers compensation insurance for any and all parties of employees involved with his project, as well as provide general liability insurance mentioning the city, and Robert A Garcia, Landscape Architecture as additionally insured in writing prior to start of work as specifically detailed in the specifications.
- MUNICIPAL/COUNTY REQUIREMENTS** - The contractor shall obtain all permits necessary to carry out the scope of work. All permit fees will be paid directly by city. All work shall conform to the documents and related governing codes and/or ordinances. The contractor shall verify property owner a minimum of 2 working days in advance prior to any required inspection.
- SITE SECURITY** - The contractor shall at all times protect his work from damage and theft and replace all damaged or stolen parts at their expense until the work is accepted in writing by the city. Contractor is liable for all damage or injury caused by any work or storage of materials on site. The contractor shall install and maintain 5' height chain link fence with gated access around the entire park during the course of construction.
- EXISTING UTILITIES** - Extreme care shall be exercised in working near existing utilities. The contractor shall verify the location and condition of all utilities and be responsible for any damage. All damage to existing site features outside of the limit of work due to work performed by the contractor or any subcontractor shall be the responsibility of the contractor to reestablish in a timely manner.
- CONSTRUCTION RECORD** - The contractor shall maintain an approved set of plans to be located on the job site in a watertight container at all times. The contractor shall provide and keep up-to-date a complete record drawing noting locations, sizes and types of feature and equipment. Prints for this purpose may be obtained from the city. The set of drawings shall be kept on the site and shall be used only as the record set. The drawings shall also serve as work progress sheets and the contractor shall make neat and legible annotations thereon as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for inspections and shall be kept in a location designated by the owner. The contractor shall provide the owner with a set of AS-BUILT documents describing variations of enhancements to the original documentation.
- CHANGE ORDERS** - All substitutes and changes to the work described herein shall be submitted to the city in the form of a CHANGE ORDER for written approval.
- GUARANTEE** - Contractor shall provide a minimum 1 year guarantee of all work and materials.
- SUBCONTRACTORS DISCLOSURE** - The contractor shall furnish a listing of all subcontractors, material suppliers and consultants used on the project prior to commencement of work, and shall furnish lien releases of all labor and materials from their respective, all named in listing and any additional parties not earlier listed. The contractor shall retain the services of only licensed, insured and bonded subcontractors as well as have these subcontractors provide proof of like insurance coverage as the general contractor.
- STORM WATER PROTECTION PLAN** - The contractor shall submit a Storm Water Protection Plan for review by the agency prior to construction. Contractor shall also pull all permits required by local agencies to carry out the storm water protection plan.



PROJECT SITE

LOCATION MAP



PROJECT SITE

VICINITY MAP



Sheet Index

Sheet No.	Sheet ID.	Title
1	T	Cover Sheet
2	LP.1	Planting Plan
3	LPD.1	Planting Details
4	LI.1	Irrigation Plan
5	LID.1	Irrigation Details
6	LID.2	Irrigation Details
7	LLC.1	Irrigation Legend and Calculations
8	LSA.1	Irrigation Schedule and Audit
9	LHZ.1	Hydrozone Plan
10	LSM.1	Soil Management Plan
11	LS.1	Specifications
12	LS.2	Specifications

CONSTRUCTION NOTES:
 1. THIS PROJECT WILL COMPLY WITH 2022 CBC, CPC, AND 2022 CEC AND 2022 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
 2. THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
 3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED COVERED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE
 CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

REVISIONS	DATE

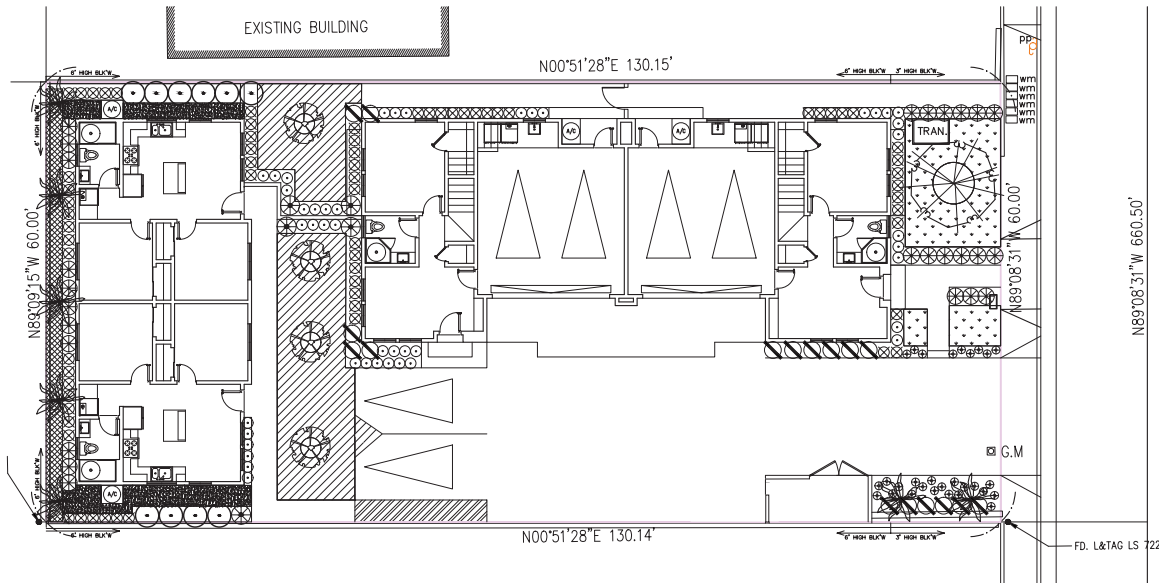


3-Story Duplex & Two 1-Story ADU's
 729 & 731 W. 4th Avenue
 La Habra, CA 90631

COVER SHEET

DATE:
 8-22-2023
 DRAWN BY:
 RAG
 JOB NO.:
 SCALE:
 PER PLAN

SHEET NO.
T
 1 OF 12 SHEETS



PLANT MATERIALS LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY
TREES			
	ARBUTUS MARINA, MULTI MARINA ARBUTUS	24" BOX	1 L/3
	MAGNOLIA GRANDIFLORA 'LITTLE GEM' MARINA ARBUTUS	24" BOX	3 L/3
	SYAGRUS ROMANZOFFIANA QUEEN PALM	15 GAL	7 M/5
	LAURUS NOBILIS SWEETBAY LAUREL	15 GAL	10 L/3
	SANSEVIERIA MOTHER IN LAW'S TONGUE	5 GAL	45 L/3
	LEYMUS CONDENS AUS 'CANYON PRINCE' CANYON PRINCE WILD RYE	5 GAL	68 L/3
	EUPHORBIA POLYCHROMA CUSHION SPURGE	5 GAL	26 L/3
	ALOE SPP 'STRIATA' CORAL ALOE	5 GAL	5 L/3
	JUNCUS PATENS CALIFORNIA GREY RUSH	1 GAL	29 L/3
	LEUCADENDRON spp, HYBRIDS and cvs. SAFARI SUNSET CONEBUSH	5 GAL	17 L/3
GROUNDCOVER (TO COVER 100% WITHIN 2 YEARS)			
	DYMONDIA MARGARETAE 'SILVER CARPET' DYMONDIA	FLATS @ 6" O.C.	L/3 515 S.F.
	TRACHELOSPERMUM MULTIFLORUM STAR JASMINE	FLATS @ 12" O.C.	L/3 135 S.F.
	UC VERDE BUFFALO GRASS	SOD	255 S.F. L/3

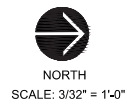


HOLD HARMLESS AND INDEMNIFICATION CLAUSE

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CONSTRUCTION NOTES:

1. THIS PROJECT WILL COMPLY WITH: 2022 CBC, CMC, CPC, AND 2022 CEC AND 2022 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
2. THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVECTED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.
4. ALL EXISTING LANDSCAPE AND HARDSCAPE WILL BE REMOVED FROM THE BACK YARD AS DESCRIBED IN THE CALLOUTS. EXISTING ELEMENTS TO BE PROTECTED IN PLACE ARE IDENTIFIED IN THE CALLOUTS.



REVISIONS	DATE



3-Story Duplex & Two 1-Story ADU's
729 & 731 W. 4th Avenue
La Habra, CA 90631

PLANTING PLAN

DATE:	8-22-2023
DRAWN BY:	RAG
JOB NO.:	
SCALE:	PER PLAN

SHEET NO.
LP.1
2 OF 12 SHEETS

PLANTING NOTES

1. ALL WORK PERFORMED SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND OR STATE JURISDICTIONS. CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTING AND APPROVAL REQUIRED FOR THIS WORK.
2. FINISH GRADES SHALL BE WITHIN TWO (2) QUINCHES BELOW CURB AND/or PAVING GRADE IN SHRUB AREA AND ONE (1) INCH BELOW CURB AND/OR PAVING GRADE IN LAWN AREAS.
3. ALL TREE DELIVERIES MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
4. ALL TREE LOCATIONS ARE TO BE REVIEWED AND APPROVED BY THE OWNERS AND THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS OF UNDERGROUND UTILITIES LINES IN THE FIELD PRIOR TO ANY EXCAVATION. REQUEST APPROVAL FROM THE OWNER AND THE LANDSCAPE ARCHITECT FOR ANY LOCATION IN PLANT MATERIAL LOCATIONS.
6. ALL PLANTING PLANS ARE DIAGRAMMATIC, AND THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO ENSURE THAT THE ROOTBALLS OF NEW AND EXISTING TREES ARE NOT DISTURBED.
7. ALL LINES AND UTILITIES ARE TO BE REMOVED FROM STAKES OR TRILLESSES AND ATTACHED TO WALLS WITH APPROVED DEVICES.
8. ALL GROUND COVERS SHALL EXTEND BENEATH ALL PLANT MATERIAL.
9. ALL ON-CENTER SPACINGS FOR SHRUB AND GROUND COVERS ARE TRIANGULAR SPACINGS. (SEE DETAIL)

SOIL TESTING REQUIREMENTS

SOIL TESTING FOR AGRICULTURAL SUITABILITY IS REQUIRED FOR ALL LANDSCAPE AREAS. REFER TO SPECIFICATIONS PART 3.001 PREPARATION AND FINISH GRADING, 3.03 SOIL AMENDMENTS. TEST RESULTS SHALL BE SUBMITTED TO THE CITY BEFORE DELIVERY OF SOIL AMENDMENTS.

NOTES:

1. THE CONTRACTOR SHALL SUBMIT A SOIL SAMPLE FORM AND 3 SOIL SAMPLES PRIOR TO START OF CONSTRUCTION FOR TESTING OF EXISTING SOIL NUTRIENTS AND SOIL SUITABILITY (SEE A AND THE SHEET)
2. THE CONTRACTOR, AFTER GRADING SHALL AGAIN SUBMIT A SOIL SAMPLE FORM AND 3 SAMPLES OF THE NUTRIENT IMPROVEMENT TOPSOIL FOR TESTING FOR NUTRIENT SUITABILITY, FERTILITY AND PHYSICAL CHARACTERISTICS. (SEE A AND C THIS SHEET)
3. THE CONTRACTOR SHALL REFER TO SPECIFICATIONS PART 3.03 SOIL AMENDMENTS, 3.03.1 PREPARATION AND FINISH GRADING, 3.03.2 SOIL AMENDMENT AND 3.03.4 SOIL PREPARATION, 3.03.4.1 ANALYTICAL (FORMAL) SOIL & PLANT LABORATORY (NCS)

SOIL PREPARATION & BACKFILL MIX SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE TO BE USED FOR COST ALLOWANCES ON V. FINAL SOIL PREPARATION AND BACKFILL MIX REQUIREMENTS TO BE BASED ON RESULTS OF REQUIRED SOIL TESTS. (REFER TO SPECIFICATIONS PLANTING SPECIFICATIONS 3.03 AND 3.04)

SOIL PREPARATION: (PER 1000 SQUARE FEET)

ALLOW FOR A MINIMUM OF 4 CUBIC YARDS/1000 SQUARE FEET NITROGEN STABILIZED ORGANIC AMENDMENT (AS SPECIFIED IN SECTION 03021 PART 2.01)

ALLOW FOR A MINIMUM OF 2000/1000 SQUARE FEET GROW-POWER PLUS WITH 4% SULFUR

BROADCAST UNIFORMLY AND RETIOTTEL INTO UPPER FOUR (4) TO SIX (6) INCHES OF SOIL.

MODEL BACKFILL MIX FOR TREES AND SHRUBS (PER CUBIC YARD)
 4 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
 6 PARTS BY VOLUME SOIL
 18 GROW-POWER PLUS WITH 4% SULFUR PER CUBIC YARD OF MIX

APPLICATION RATE TABLE

GROW-POWER 1 GPM PLANTING TABLETS, 12-24 WITH 20% HUMUS AND 4% HUMIC ACID PLANT-SIDE
1 GALLON = 3 TABLETS
2 GALLON = 6 TABLETS
5 GALLON = 15 TABLETS
10 GALLON = 30 TABLETS
20 GALLON = 60 TABLETS
SPECIMEN TREES & SHRUBS = 4 TABLETS FOR EVERY INCH OF CALIPER

NOTE: PLACE TABLETS NO HIGHER THAN 1/3 OF THE WAY UP ON THE ROOTBALL SPACED EQUALLY AROUND THE PERIMETER OF THE ROOTBALL APPROXIMATELY 2" FROM THE ROOT TIPS

FINISH GRADING

1. FINISH GRADING SHALL CONSIST OF FINISHING SURFACES BY RAVING SMOOTHLY AND EVENLY, AND REMOVING AND OFF SITE DISPOSAL OF ALL EXTRANEOUS MATTER TO FACILITATE NATURAL RUNOFF OF WATER.
2. FINISH GRADES SHALL ALLOW FOR THE LATER ADDITION OF SOIL AMENDMENTS AND TAKE INTO ACCOUNT THE DISPLACEMENT OF EXISTING SOIL BY CONTAINER PLANTING. IF NECESSARY, EXISTING SOIL SHALL BE REMOVED IN ORDER TO ACHIEVE THE FOLLOWING FINAL GRADES.
 - A. SHRUB AND GROUNDCOVER AREAS: TWO (2) INCHES BELOW THE GRADE OF ADJACENT PAVEMENT, WALKS, CURBS, OR READERS.
 - B. LAWN AREAS: ONE (1) INCH BELOW THE GRADE OR ADJACENT PAVEMENT, WALKS, CURBS, OR READERS.
3. SOIL AREAS ADJACENT TO BUILDINGS, PAVING AND WATER FEATURES SHALL SLOPE AWAY FROM THE STRUCTURE TO ALLOW A NATURAL RUNOFF OF WATER, AND SURFACE DRAINAGE SHALL BE DIRECTED AS NOTED ON THE DRAWINGS BY REINFORCING SURFACES TO FACILITATE THE NATURAL RUNOFF WATER, LOW SPOTS AND POCKETS SHALL BE GRADED TO DRAIN PROPERLY.
4. CONTRACTOR IS TO FINISH GRADE WITH PROPER SLOPE TO DRAINS, ALL FLOW LINES, DRAINAGES OR NOT SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER, AND SHALL CONFORM TO THE INTENT OF ALL PLANS AND SECTIONS AFTER THROUGH SETTLEMENT AND COMPACTION OF SOIL.

FINE GRADING

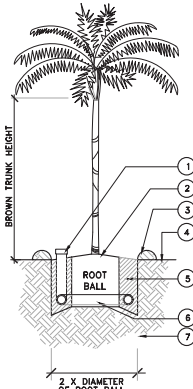
1. ALL SOIL AREAS SHALL BE COMPACTED AND SETTLED BY APPLICATION OF IRRIGATION TO A MINIMUM DEPTH OF TWELVE (12) INCHES PRIOR TO PLANTING.
2. AFTER THE FOREGOING DEEP WATERING MINOR MODIFICATIONS TO GRADE MAY BE REQUIRED TO ESTABLISH THE FINAL GRADE. THESE REVISIONS SHALL NOT BE WORKED UNTIL THE MOISTURE CONTENT HAS BEEN REDUCED TO A POINT WHERE WORKING IT WILL NOT DESTROY THE SOIL STRUCTURE.
3. ALL PLANTING AREAS SHALL BE FINE GRADED TO A SMOOTH, EVEN, AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE.

PROTECTION OF EXISTING SPECIMEN TREES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SPECIMEN TREES THAT ARE TO REMAIN IN THE PROJECT, AND SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO ASSURE THAT THEY ARE PROTECTED FROM DAMAGE BY WORKERS AND EQUIPMENT.
2. WHERE IT IS NECESSARY TO EXCAVATE IN CLOSE PROXIMITY TO EXISTING SPECIMEN TREES, ALL POSSIBLE CAUTION SHALL BE EXERCISED TO AVOID INJURY TO ROOTS, LIMBS AND TRUNK. EXCAVATION CLOSE TO TREES SHALL BE BY HAND, TUNNELING UNDER ROOTS TWO (2) INCHES AND LARGER SHALL BE ALLOWED ONLY AFTER DISCUSSION WITH AND APPROVAL BY THE CERTIFIED CONSULTING ARBORIST.
3. EXCAVATION IN THE VICINITY OF TREES SHALL BE CLOSED WITHIN 24 HOURS, WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE EXCAVATION ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH MOIST BURLAP OR CANVAS.
4. THE CONTRACTOR SHALL INSURE THAT NO FOREIGN MATERIAL AND/OR LIQUID, SUCH AS PAINT, CONCRETE, GEMENT, OIL, TURPENTINE, ACID OR THE LIKE BE ALLOWED TO CONTAMINATE ANY SOIL WITHIN THE PERIMETER (IE, THE OUTSIDE EDGE OF FOLIAGE OVERHANG) OF ANY TREE. IF SUCH CONTAMINATION OCCURS, THE CONTRACTOR SHALL REMOVE SOIL AS DIRECTED BY THE CERTIFIED CONSULTING ARBORIST AND REPLACE IT WITH ACCEPTABLE SOIL AT NO EXPENSE TO THE OWNERS.
5. ALL DAMAGE TO EXISTING SPECIMEN TREES SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE BY A LICENSED TREE SURGEON OR OTHER APPROVED PERSONNEL, AS APPROVED BY THE CERTIFIED CONSULTING ARBORIST.
6. THE EXISTING IRRIGATION SYSTEM AT ALL EXISTING SPECIMEN TREES SHALL BE MAINTAINED IN WORKING ORDER FOR THE DURATION OF CONSTRUCTION, ANY DAMAGE TO THE EXISTING IRRIGATION SYSTEM SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

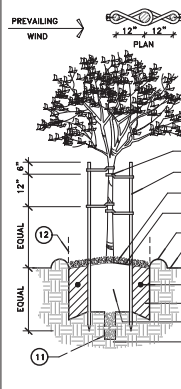
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LEGEND

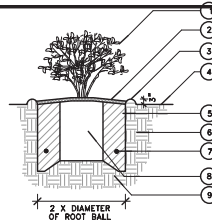
1. 4" DIAMETER VERTICAL PERFORATED DRAIN PIPE, CONNECT TO PIPE AT BASE OF PIT AND CAP AT SURFACE. WRAP PIPE WITH FILTER FABRIC.
2. TOP OF ROOT BALL TO BE 1 INCH ABOVE FINISH GRADE.
3. 3 INCH HIGH WATERING BASIN
4. FINISH GRADE
5. MEDIUM GRADE PLASTER SAND BACKFILL, WATER JETTED INTO HOLE FOR MAXIMUM STABILITY.
6. 4 INCH DIAMETER FLEXIBLE PERFORATED DRAIN PIPE ENCRICLING BASE OF PLANTING PIT. CONNECT TO VERTICAL PIPE. WRAP PIPE WITH FILTER FABRIC.
7. NATIVE SUBGRADE

NOTE:
 1. ALL PALM TREES ARE TO BE BOXED (UNLESS OTHERWISE NOTED ON PLAN). CONTRACTOR SHALL HAVE A SOIL GONOMIST PREPARE A DETAILED SOIL ANALYSIS AT TREE PLANTING LOCATIONS AND INSTALL ALL PALMS FOLLOWING THE RECOMMENDATIONS OF THE REPORT.
 2. APPLY "OSMOCOTE" SLOW-RELEASE FERTILIZER ON SURFACE OF PLANTING PIT PER MANUFACTURER'S DIRECTION.



1. "ONCH-TIE" BY V.I.T. CO. (619) 673-1760
2. LODGEPOLE PINE STAKE COPPER NAPHTHENATE IMPREGNATED. 2-1/2" DIA. X 12" LONG FOR 24" BOX AND SMALLER.
3. 2" LAYER OF MULCH
4. TOP OF ROOT BALL TO BE 1" ABOVE FINISH GRADE
5. 3" HIGH WATER BASIN SEE SPECS
6. FINISH GRADE
7. PLANTING TABLET - SEE SCHEDULE FOR QTY.
8. BACKFILL MIX - SEE SOILS REPORT
9. ROOTBALL
10. NATIVE SUBGRADE
11. SUMP - REFER TO DETAIL
12. END OF TURF

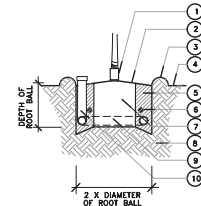
NOTE:
 1. MIN. TWO TIES (TOP & BOTTOM) REQUIRED. USE THIRD TIE WHEN NECESSARY TO HOLD TREE IN UPRIGHT POSITION. TIES TO BE SECURED TO AVOID SURFACE WRAP STAIN GROW. FIGURE EIGHT. NAIL W/ (1) GALV. NAIL THROUGH EACH TIE INTO SOIL.
 2. SEE DETAIL H, THIS SHEET FOR TREE DRAINAGE.



1. 1, 5, OR 15 GALLON SHRUB
2. 2" LAYER OF MULCH
3. 3" WATER BASIN
4. FINISH GRADE
5. AMENDED SOIL FOR PLANTING - SEE SOILS REPORT
6. PLANT PIT EXCAVATION
7. PLANTING TABLETS - SEE SCHEDULE FOR QTY.
8. ROOTBALL
9. NATIVE SUBGRADE

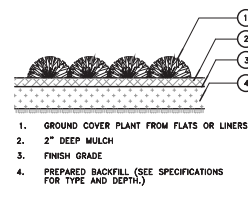
FOR 24" AND 36" BOX TREES

D TREE PLANTING

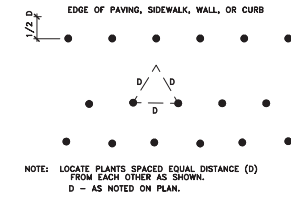


1. (1) 8" ARBOR GUARD FOR EACH TREE IN TURF BY NEW ROOT CORP. (714) 899-0565.
2. TOP OF ROOT BALL TO BE 1" ABOVE FINISH GRADE.
3. 3" HIGH WATER BASIN
4. FINISH GRADE
5. BACKFILL MIX - SEE SOILS REPORT.
6. PLANTING TABLET - SEE SCHEDULE FOR QTY.
7. ROOTBALL
8. NATIVE SUBGRADE
9. 4" DIA. FLEXIBLE PERFORATED DRAIN PIPE ENCRICLING BASE OF PLANTING PIT. CONNECT TO VERTICAL PIPE. SURROUND PIPE WITH FILTER FABRIC.
10. 4" DIA. VERTICAL PERFORATED DRAIN PIPE. CONNECT TO PIPE AT BASE OF PIT AND CAP AT SURFACE. SURROUND PIPE WITH FILTER FABRIC.

A SHRUB PLANTING



1. GROUND COVER PLANT FROM FLATS OR LINERS
2. 2" DEEP MULCH
3. FINISH GRADE
4. PREPARED SOIL (SEE SPECIFICATIONS FOR TYPE AND DEPTH)



NOTE: LOCATE PLANTS SPACED EQUAL DISTANCE (D) FROM EACH OTHER AS SHOWN. D - AS NOTED ON PLAN.

G PALM TREE PLANTING

NOT TO SCALE

E TREE PLANTING W/ DRAINAGE

PLANTING TABLET SCHEDULE

GRO-POWER PLANTING TABLETS FOR CONTAINER-GROWN PLANTS

1 GALLON CONTAINER RECEIVES	2-3 TABLETS
3 GALLON CONTAINER RECEIVES	3-6 TABLETS
5 GALLON CONTAINER RECEIVES	5-9 TABLETS
7 GALLON CONTAINER RECEIVES	8-10 TABLETS
10 GALLON CONTAINER RECEIVES	10-12 TABLETS
15 GALLON CONTAINER RECEIVES	12-15 TABLETS
20"-24" BOX RECEIVES	14-16 TABLETS
30" BOX RECEIVES	16-18 TABLETS
36" BOX RECEIVES	18-20 TABLETS
42" BOX RECEIVES	20-22 TABLETS
48" BOX RECEIVES	22-24 TABLETS
60" BOX RECEIVES	32-36 TABLETS
LARGER SIZES: FOR EACH 1/2" CALIPER USE:	3-4 TABLETS

SOD LAWN

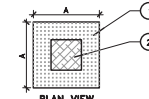
SOD LAWN SHALL BE MARATHON 4" TURF TYPE TALL FESCUE. AVAILABLE FROM SOUTHLAND SOD FARMS (805) 488-3585.

SOILS REPORT

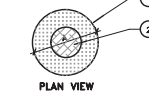
AT THE CONCLUSION OF ROUGH GRADING AN AGRONOMIC SOILS REPORT SHALL BE PREPARED BY THE OWNER AND FURNISHED TO THE CONTRACTOR, AND ALL RECOMMENDATIONS FROM SUCH REPORT SHALL BE INCORPORATED BY THE CONTRACTOR INTO INSTALLATION OF ALL PLANTING AREAS.

B GROUNDCOVER PLANTING

CONTAINER SIZE	A WIDTH	B DEPTH
1 GALLON	12"	12"
5 GALLON	26"	22"
15 GALLON	36"	24"
24" BOX	48"	28"
30" BOX	54"	33"
36" BOX	66"	44"
48" BOX	84"	60"



1. PLANT PIT TO BE SQUARE - SEE ABOVE FOR DIMENSIONS.
2. ROOTBALL



1. PLANT PIT TO BE ROUND. - SEE ABOVE FOR DIMENSIONS.
2. ROOTBALL

F

C PLANT PIT DIMENSION

REVISIONS	DATE

Underground Service Alert
 CALL TOLL FREE 1-800-422-4133
 (NO WORKING DAYS BEFORE YOU GO)

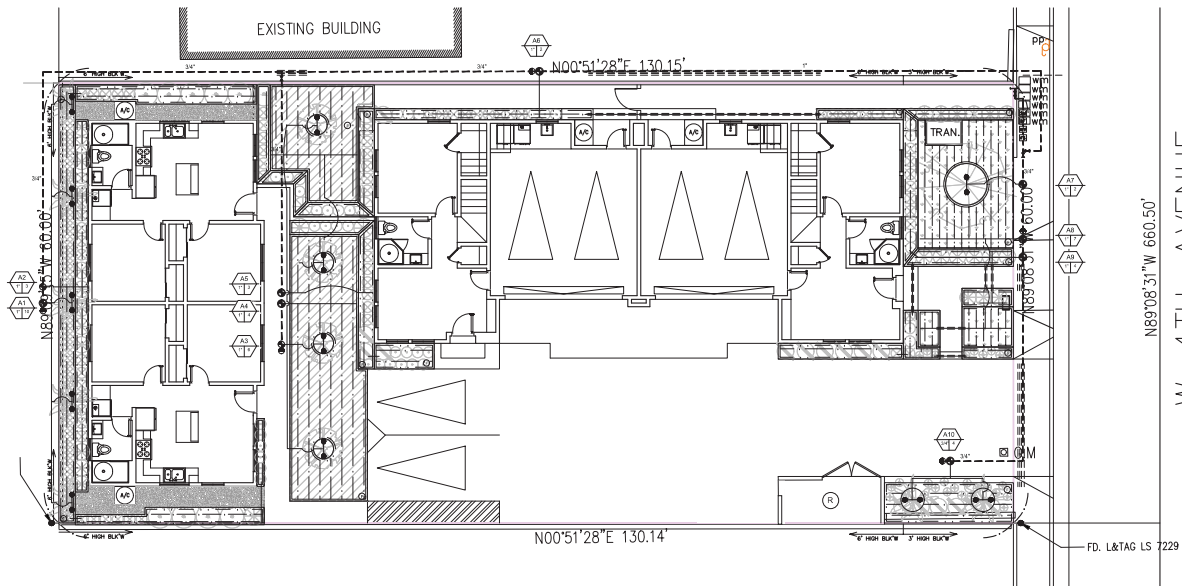


3-Story Duplex & Two 1-Story ADU's
 729 & 731 W. 4th Avenue
 La Habra, CA 90631

PLANTING DETAILS

DATE: 8-22-2023
 DRAWN BY: RAG
 JOB NO:
 SCALE: PER PLAN

SHEET NO.
LPD.1
 3 OF 12 SHEETS



IRRIGATION NOTES:

- The irrigation contractor shall obtain a copy of the latest edition of the "Rules and Regulations for Potable Water Service". These rules and regulations are incorporated into and made a part of the irrigation specifications, and their provisions shall be carried out by the contractor.
- Anything contained in the irrigation specifications shall not be construed to conflict with any of the Rules and Regulations or requirements of the same. Irrigation specifications and drawings call for described materials and workmanship, however alternative material and special identification may be used when approved.
- The Irrigation Plan is diagrammatic. All irrigation equipment shown within paved areas is for design clarification only and shall be installed in planting areas only.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in the area dimensions exist. Such obstructions or differences should be notified. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- The irrigation system design is based on the minimum operating pressure and the maximum flow demand shown on the irrigation drawings at each point of connection. The irrigation contractor shall verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection. In the event pressure differences are not reported prior to the start of construction, the irrigation contractor shall assume full responsibility for any revisions necessary.
- Automatic controllers shall be of the size and type indicated on the plans and installed where shown. Control wires shall be sleeved in electrical conduit to the mainline. Electrical service to the controller shall be provided by others. It shall be the responsibility of the irrigation contractor to make the final hook-up from the electrical outlet to the automatic controller.
- All controller wire shall be AWG-14F direct burial type, and all splices and connections shall be made with 3M DBY connectors or approved equal. All wire shall be installed with two feet of extra wire coiled at the end of each wire run.
- Irrigation equipment, including backflow prevention device, shall be installed at the approximate location indicated on the Plan and approved prior to installation. Installation shall conform to all codes, regulations and manufacturers' specifications.
- All valves (remote control ball, quick coupler) shall be installed in a precast valve box with tan backing lid (manufactured by Brooks, Rain Bird or equal). The lid shall be embossed with 2-inch high initials designating the contents of the valve box (i.e., PVC, BV, QCC, etc.).
- All mainline, lateral lines and irrigation wire shall be installed in SCH 40 PVC pipe sleeving where they pass under dirt roads and paved areas. Mainlines and lateral lines shall be sleeved in SCH 40 PVC pipe twice the diameter of the working line. Irrigation control wire shall be sleeved in SCH 40 PVC pipe 1-inch diameter per ten strand direct burial wire.
- Irrigation contractor shall guarantee the entire irrigation system to be free of defects in workmanship and materials before final acceptance.
 - All risers shall be SCH 40 PVC pipe.
 - All pipe fittings shall be PVC SCH 40, except as noted in Details.
 - Use Teflon tape or Teflon pipe dope on all PVC male pipe threads on all sprinkler swing joint valves and on all riser threads.
- All pressure mainlines shall be buried 24-36-inch deep, and all non-pressure laterals 12 inches deep. Trench backfill shall be free of any material that may damage irrigation pipe or equipment. In the event of backfill settlement, contractor shall perform required repairs at his own cost.
- The contractor shall not allow or cause any of his work to be covered until it has been inspected, tested and approved.
- Prior to backfilling irrigation trenches: All mainlines in the system shall be capped and pressure tested at 150 psi for a period of two hours. Any leaks found shall be corrected by removing the leaking pipe or fittings and installing new material in its place.
- When the irrigation system is completed, the contractor shall perform a coverage test to ensure complete and adequate coverage of the planting areas. The contractor shall furnish all materials and perform all work required to correct inadequacies of coverage at his own cost.

PIPE SIZE LEGEND

0-7 GPM	3/4" MIN.	31-50 GPM	2"
8-12 GPM	1"	51-70 GPM	2-1/2"
12-22 GPM	1-1/4"	71-100 GPM	3"
23-30 GPM	1-1/2"		

1/2" PIPE IS NOT ALLOWED, MINIMUM SIZE PIPE TO BE 3/4".

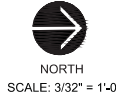
IRRIGATION PLANS ARE DESIGNED AS DIAGRAMMATIC AND APPROXIMATE. ALL IRRIGATION EQUIPMENT, SPRINKLERS AND PIPE ARE TO BE INSTALLED IN LANDSCAPED AREA ONLY. NO IRRIGATION EQUIPMENT SHALL BE LOCATED IN THE HARDSCAPE. THE IRRIGATION CONTRACTOR SHALL ENSURE THERE IS NO OVERSPRAY ONTO HARDSCAPE, STREETS, WALLS OR ANY OTHER HARDSCAPE / STRUCTURE.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

CONSTRUCTION NOTES:

- THIS PROJECT WILL COMPLY WITH 2022 CBC, CMC, CPC, AND 2022 CEC AND 2022 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
- THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.
- ALL EXISTING LANDSCAPE AND HARDSCAPE WILL BE REMOVED FROM THE BACK YARD AS DESCRIBED IN THE CALLOUTS. EXISTING ELEMENTS TO BE PROTECTED IN PLACE ARE IDENTIFIED IN THE CALLOUTS.



REVISIONS	DATE

Underground Service Alert
 CALL TOLL FREE
 1-800-422-4133
 110 WORK DAYS BEFORE YOU DIG



3-Story Duplex & Two 1-Story ADUs
 729 & 731 W. 4th Avenue
 La Habra, CA 90631

IRRIGATION PLAN

DATE:
8-22-2023
 DRAWN BY:
RAG
 JOB NO:
SCALE:
PER PLAN

SHEET NO.
L1.1
 4 OF 12 SHEETS

REVISIONS	DATE

Underground Service Alert



CALL TOLL FREE
1-800-422-4133

NO WORKING OVER BEFORE YOU CALL

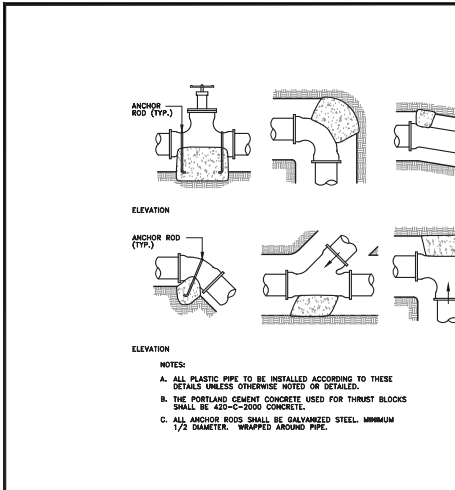


3-Story Duplex & Two 1-Story ADU's
729 & 731 W. 4th Avenue
La Habra, CA 90631

IRRIGATION DETAILS

DATE:	8-22-2023
DRAWN BY:	RAG
JOB NO.:	
SCALE:	PER PLAN

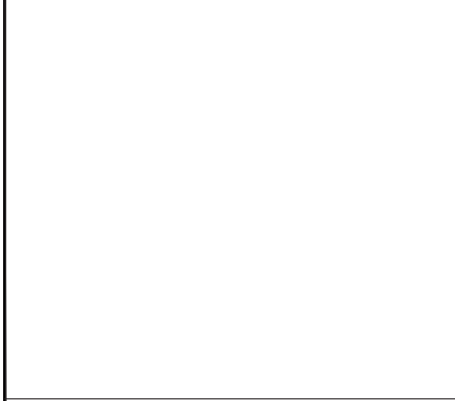
SHEET NO.
LID.1
5 OF 12 SHEETS



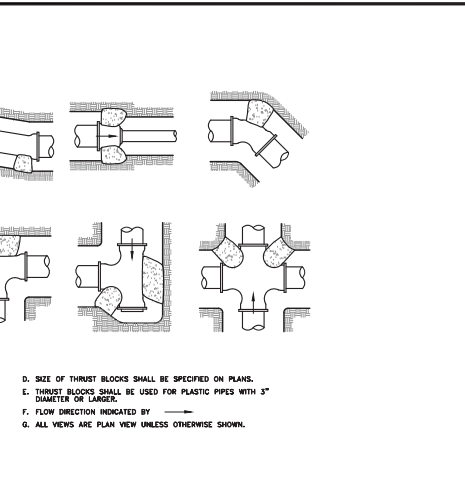
G THRUST BLOCKS FOR PLASTIC PIPE



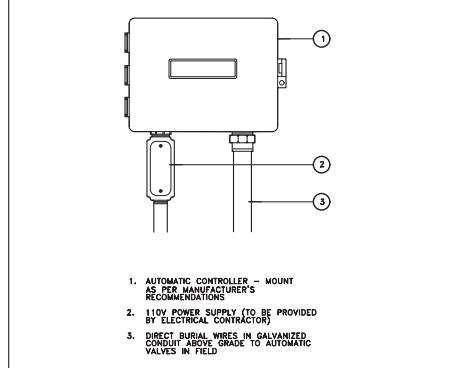
H IRRIGATION ENCLOSURE (WALL MOUNT)



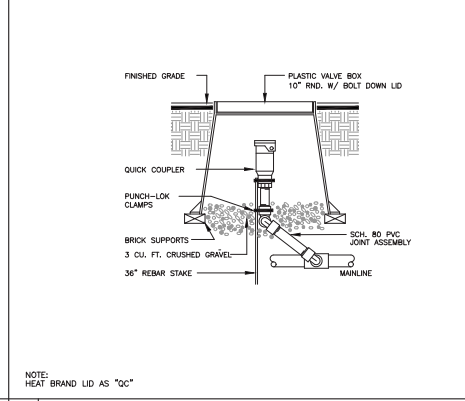
I QUICK COUPLER



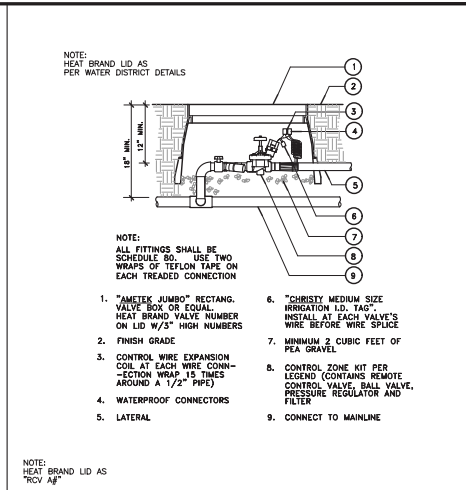
D CONTROL ZONE VALVE KIT



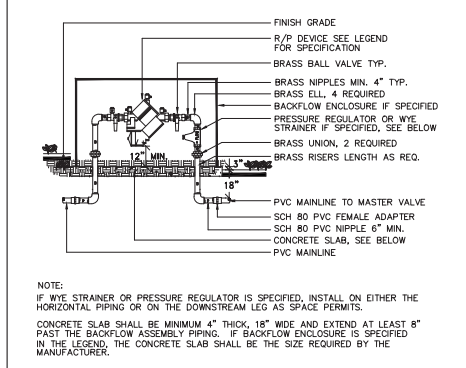
E BACKFLOW PREVENTER



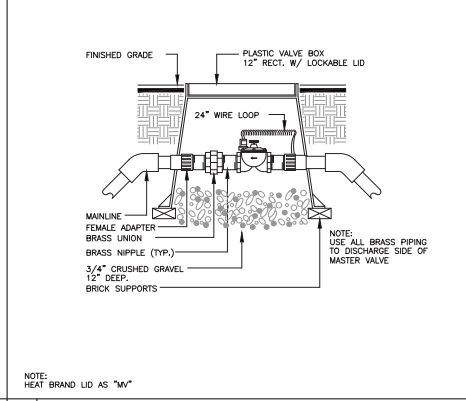
F MASTER VALVE



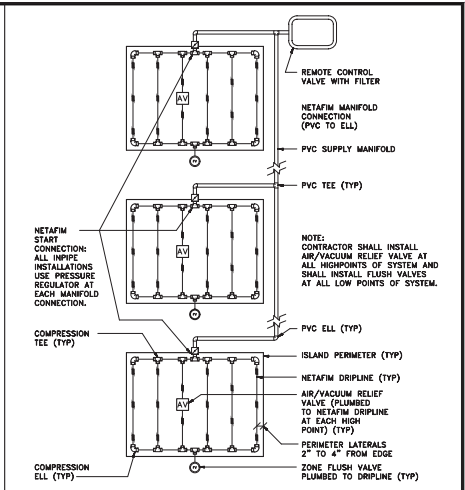
A DRIPLINE LAYOUT



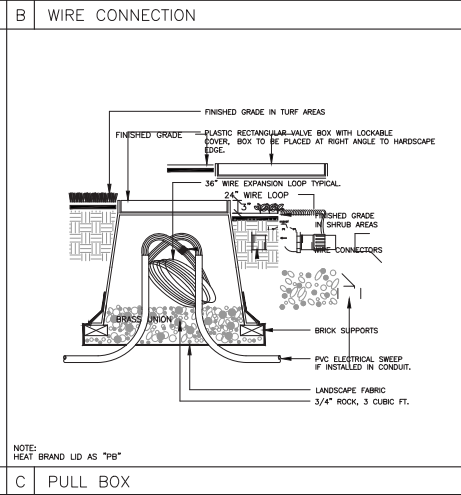
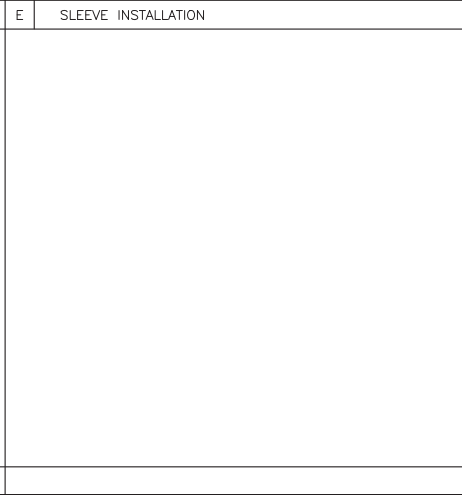
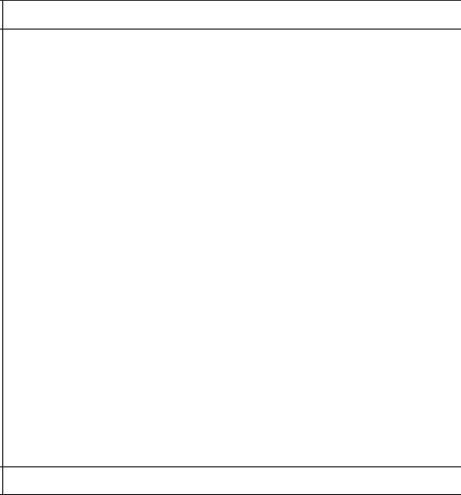
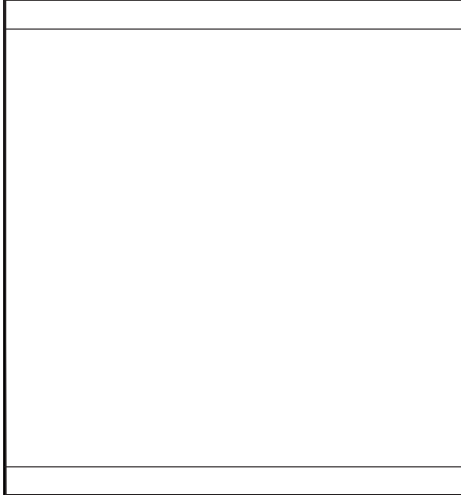
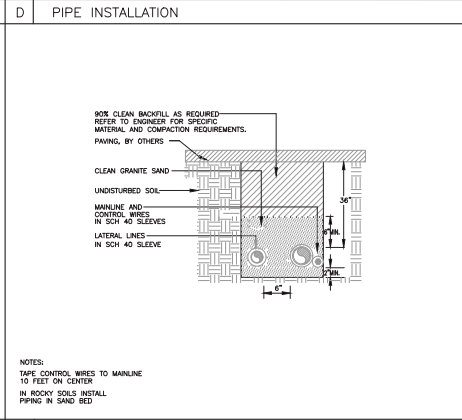
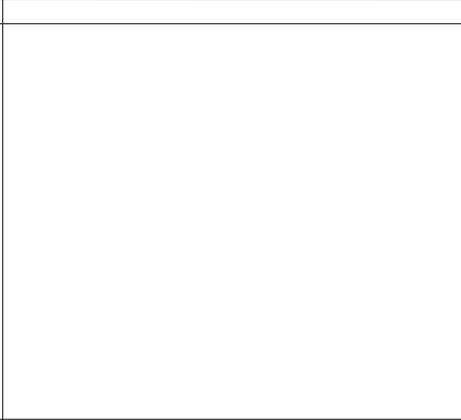
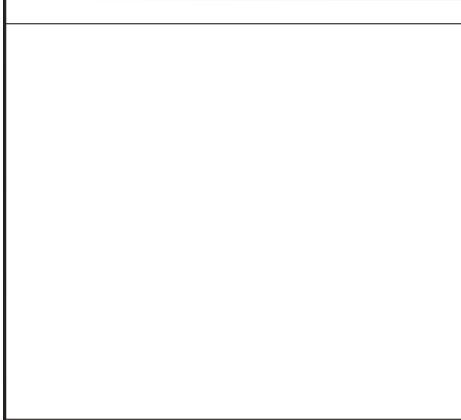
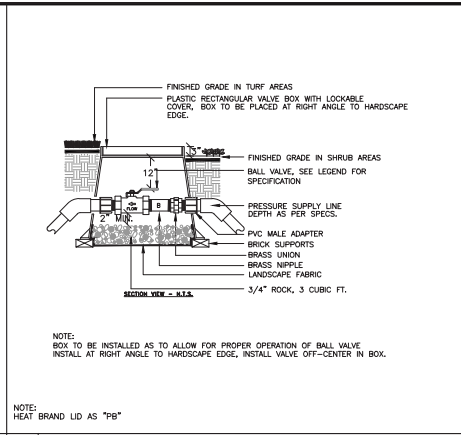
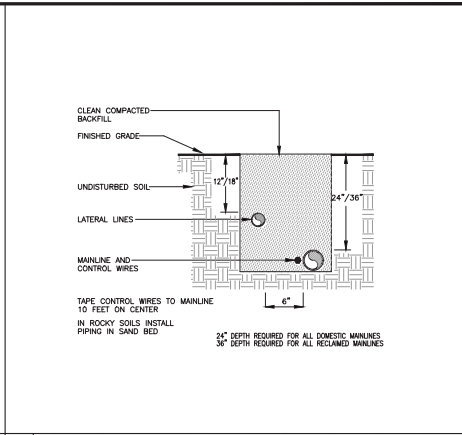
B TREE BUBBLER



C REMOTE CONTROL VALVE



I QUICK COUPLER



REVISIONS	DATE

Underground Service Alert
 Call TOLL FREE 1-800-422-4133
 (NO WORKING DAYS BEFORE YOU DIG)



3-Story Duplex & Two 1-Story ADU's
 729 & 731 W. 4th Avenue
 La Habra, CA 90631

IRRIGATION DETAILS

DATE:	8-22-2023
DRAWN BY:	RAG
JOB NO.:	
SCALE:	PER PLAN

SHEET NO.
LID.2
 6 OF 12 SHEETS

Appendix C: Water Efficient Landscape Worksheet

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.

Reference Evapotranspiration (ETa) ¹ , 50.4										
Landscape Area Sector Type (select one): <input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential										
Hydrozone #/Planting Description	Location	Plant Factor ² (PF)	Irrigation Method ³	Irrigation Efficiency ⁴ (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use ⁵ (ETWU)		
Regular Landscape Area										
1	A	A7	L/2	B	.77	.26	25	6.5	203.11	
2	B	A10	M/S	B	.77	.26	200	52.0	1,624.90	
3	C	A8	L/2	D	.81	.25	280	70.0	2,187.36	
4	D	A9	L/2	D	.81	.25	340	85.0	2,556.28	
5	E	A6	L/2	D	.81	.25	100	25.0	781.20	
6	F	A3	L/2	B	.77	.26	30	7.8	243.73	
7	G	A4	L/2	D	.81	.25	350	87.5	2,734.20	
8	H	A5	L/2	D	.81	.25	280	70.0	2,187.36	
9	I	A2	L/2	D	.81	.25	320	80.0	2,459.84	
10	J	A1	M/S	B	.77	.26	40	10.4	324.98	
11										
12										
							Average	Total		
							254	1955	494.20	
							Average ETAF for Regular Landscape Areas (circle one):			Not In Compliance
Special Landscape Area										
SLA-1										
SLA-2										
SLA-3										
SLA-4										
SLA-5										
							Totals			
							Total Landscape Area	1955		
							Site wide ETAF	254		
							ETWU Total	15,442.76		
							Maximum Allowed Water Allowance (MAWA)	33,771.276		

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DOMESTIC WATER METER 'A'
IRRIGATION PRESSURE CALCULATION-BUBBLER

UNITS	SIZE	TYPE	DESCRIPTION	GPM	UNIT PSI LOSS
1	1"	DISC	WATER METER	10.0	.70
1	3/4"	BRASS	SUB WATER METER	10.0	1.60
1	3/4"	BRASS	BACKFLOW	10.0	10.00
1	3/4"	BRASS	MASTER VALVE	10.0	1.80
1	3/4"	BRASS	FLOW SENSOR	10.0	2.00
1	3/4"	BRASS	AUTOMATIC VALVE	10.0	1.80
2	3/4"	BRASS	GATE VALVE	10.0	2.00
180	3/4"	SCH 40	MAINLINE	10.0	15.79
10	3/4"	SCH 40	LATERAL LINE	10.0	0.78
MISC FITTINGS ALLOWANCE				34.47	
				3.45	
STATION: A-1				COMPONENT LOSSES:	37.92
STATIC PRESSURE: 72.00				MIN. REQ'D BY HEAD:	30.00
MAX. GPM DEMAND: 10.0				ELEV. LOSS/GAIN:	0.00
				TOTAL PRESSURE REQ'D:	67.92
				RESIDUAL PRESSURE:	4.08

IRRIGATION PRESSURE CALCULATION-DRIP

UNITS	SIZE	TYPE	DESCRIPTION	GPM	UNIT PSI LOSS
1	1"	DISC	WATER METER	3.0	.10
1	3/4"	BRASS	SUB WATER METER	3.0	.30
1	3/4"	BRASS	BACKFLOW	3.0	10.00
1	3/4"	BRASS	MASTER VALVE	3.0	1.40
1	3/4"	BRASS	FLOW SENSOR	3.0	2.00
1	3/4"	BRASS	AUTOMATIC VALVE	3.0	1.40
2	3/4"	BRASS	GATE VALVE	3.0	2.00
180	3/4"	SCH 40	MAINLINE	3.0	1.51
10	3/4"	SCH 40	LATERAL LINE	3.0	0.84
MISC FITTINGS ALLOWANCE				19.55	
				1.98	
STATION: A-2				COMPONENT LOSSES:	21.51
STATIC PRESSURE: 72.00				MIN. REQ'D BY HEAD:	30.00
MAX. GPM DEMAND: 3.0				ELEV. LOSS/GAIN:	0.00
				TOTAL PRESSURE REQ'D:	51.51
				RESIDUAL PRESSURE:	20.49

GENERAL IRRIGATION NOTES

STATIC PRESSURE
MINIMUM STATIC PRESSURE SHALL BE 72 PSI AT THE METER.

MINIMUM WATER METER SIZE 3/4" CONTRACTOR SHALL VERIFY PRESSURE READING PRIOR TO STARTING WORK AND REPORT TO LANDSCAPE ARCHITECT IF PRESSURE IS BELOW 70 PSI. IF PRESSURE EXCEEDS 75 PSI CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF A LINE SIZE WILKENS 800 SERIES PRESSURE REDUCING VALVE.

IRRIGATION SYSTEM LAYOUT
DUE TO THE SCALE OF THESE DRAWINGS THE CONTRACTOR SHOULD BE AWARE OF THE POSSIBILITY THAT THE NEED FOR MINOR ADJUSTMENTS TO THE IRRIGATION SYSTEM MAY BE NECESSARY TO PROVIDE PROPER COVERAGE. THESE ADJUSTMENTS COULD INCLUDE NOZZLE CHANGES AND/OR ADDITION OR DELETION OF INDIVIDUAL HEADS TO COMPENSATE FOR CHANGES MADE ON THE SITE. THE CONTRACTOR SHALL LOCATE ALL VALVES, LATERAL LINE AND MAINLINE IN PLANTING AREAS.

SLEEVING
SLEEVES SHALL BE PLACED UNDER ALL DRIVEWAYS AND WALKS WHERE IRRIGATION LATERAL, MAINLINE, AND WIRE WILL CROSS. SLEEVES SHALL BE PVC SCH. 40, MINIMUM BURY 24" DEEP. MINIMUM DISTANCE PAST EDGE OF DRIVEWAY OR CONCRETE WALK SHALL BE 24". WATER AND WIRE SHALL NOT BE PLACED IN THE SAME SLEEVE.

CONTRACTOR IS RESPONSIBLE TO SLEEVE ALL PIPE AND VALVE WIRES CROSSING STREETS, DRIVEWAYS, HARDCAPE, ETC. SLEEVE SHALL BE A MINIMUM 2x THE DIAMETER OF THE PIPE SLEEVED.

PRESSURE COMPENSATING SCREEN
CONTRACTOR SHALL INSTALL ONE (1) RAINBIRD PRESSURE COMPENSATING SCREEN PER HEAD IN ALL IRRIGATION INSTALLATIONS. USE OF THE SCREENS WILL AID IN REDUCTION, OVERSPRAY CONDITIONS AND FOGGING IN ALL PRESSURE SITUATIONS.

"WATER CONSERVATION CONCEPT STATEMENT"
THE SYSTEM IS DESIGNED TO ACHIEVE CONSERVATION AND EFFICIENCY IN WATER USE BY PROVIDING ANTI-DRAIN VALVES, FOR LOW HEAD DRAINAGE, RAIN CHECK INTERRUPT SWITCH TO PREVENT THE SYSTEM FROM ACTIVATING WHEN RAINING, PRESSURE COMPENSATING SCREENS TO PREVENT OVERSPRAY AND REDUCE WATER USAGE IN SMALLER PLANTING AREAS, AND LOW GALLONAGE HEADS TO REDUCE WATER CONSUMPTION.

WIRE NOTE
ALL LEAD WIRES TO BE #14 GAUGE, AND BLACK IN COLOR. ALL COMMON WIRE TO BE #14 GAUGE AND WHITE WITH COLORED STRIPE DIFFERING PER CONTROLLER. TWO (2) EXTRA WIRES SHALL BE PROVIDED FOR EACH GROUP OF FIVE (5) VALVES AND LOOPED IN A NEARBY VALVE BOX WITH 2" MINIMUM COIL.

IRRIGATION LEGEND (Domestic Water)

F, H, T, Q	MANUFACTURER	DESCRIPTION	PATTERN	RADIUS	GPM	PSI
		NETAFIM DRIPLINE 12' OC-TURF, 16'-GC/SHRUBS				
		NETAFIM DRIPLINE LATERAL LINE FEEDER CONNECTORS 12' OC, NOT SHOWN ON PLANS				
		NETAFIM DRIP FLUSH VALVE AT END OF SYSTEM				
		RAINBIRD DEEP ROOT WATERING SYSTEM 1404 2 PER TREE	F	3'	1.00	30
		1" LANDSCAPE IRRIGATION WATER METER - EXISTING				
		3/4" LANDSCAPE IRRIGATION SUB-WATER METER - NEW, PLACE IN RECTANGULAR VALVE BOX				
		3/4" BACKFLOW - FEBCO MODEL 825Y IN ALLSPEC ENCLOSURE MODEL VB-SS-3630 (CONFIRM SIZE)				
		3/4" MASTER VALVE - WATTS MODEL 813 (NORMALLY CLOSED), PLACE IN RECTANGULAR VALVE BOX				
		3/4" FLOW SENSOR-CALSENSE TEE MOUNTED SENSOR, PLACE IN RECTANGULAR VALVE BOX CONNECT TO CONTROLLER, NEW				
		RAINBIRD MEDIUM FLOW CONTROL ZONE KIT WITH PR FILTER, FLOW CONTROL, SIZE PER PLAN PLACE IN RECTANGULAR VALVE BOX				
		RAINBIRD 3RC-3/4" QUICK COUPLER IN ROUND VALVE BOX				
		RAIN SENSOR, SEE CONTROLLER MODEL FOR MODEL TYPE				
		RAINBIRD ESP-SMT6 CONTROLLER, 13 STATION				
		BRASS LINE GATE VALVE - NIBCO T-113, PLACE IN ROUND VALVE BOX				
		PRESSURE MAINLINE - SCHEDULE 40 - 1 1/4"				
		LATERAL LINE - PVC SCHEDULE 40 - MINIMUM 12" BURY				
		PIPE SLEEVE - PVC SCHEDULE 40				
		CONTROLLER STATION GALLONS PER MINUTE VALVE SIZE				

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

Appendix B: Certification of Landscape Design
CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:
(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services.
(2) The landscape design and water use calculation for the property located at 729 - 731 4th ST. LA HABRA, CA 91704 (provide street address or parcel number(s)) was prepared by me or under my supervision.
(3) The landscape design and water use calculation for the identified property comply with the requirements of the City of La Habra Water Efficient Landscape Ordinance (Municipal Code Section 18.16) and the City of La Habra Guidelines for Implementation of the City of La Habra Water Efficient Landscape Ordinance.
(4) The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of La Habra Guidelines for Implementation of the City of La Habra Water Efficient Landscape Ordinance.

ROBERTA GARCIA
Date: 8/22/23
Signature: [Signature]
License Number: 28834
Address: 27062 MILL CIRCLE LA HABRA, CALIFORNIA 91707
Telephone: (714) 342-1170
E-mail Address: THEGARDENSTATE@GMAIL.COM



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Appendix E: Certificate of Completion
LANDSCAPE INSTALLATION CERTIFICATE OF COMPLETION

I hereby certify that:
(1) I am a professional appropriately licensed in the State of California to provide professional landscape design services for (provide name, mailing address and telephone).
(2) The landscape project for the property located at (provide street address or parcel number(s)) was installed by me or under my supervision.
(3) The landscaping for the identified property has been installed in substantial conformance with the approved Landscape Documentation Package and complies with the requirements of the City of La Habra Water Efficient Landscape Ordinance (Municipal Code Section 18.16) and the City of La Habra Guidelines for Implementation of the City of La Habra Water Efficient Landscape Ordinance for the efficient use of water in the landscape.
(4) The following elements are attached hereto:
a. Irrigation scheduling parameters used to set the controller;
b. Landscape and irrigation maintenance schedule;
c. Irrigation audit report; and
d. Soil analysis report, if not submitted with Landscape Documentation Package, and documentation verifying implementation of the soil report recommendations.
(5) The site installation complies with the following:
a. The required irrigation system has been installed according to approved plans and specifications and if applicable, any prior approved irrigation system alterations.
Yes ___ No ___
b. Sprinklers comply with ASABE/ICC 202-2014 Landscape Irrigation Sprinkler & Emitters Standard.
Yes ___ No ___
(6) The information I have provided in this Landscape Installation Certificate of Completion is true and correct and is hereby submitted in compliance with the City of La Habra Guidelines for Implementation of the City of La Habra Water Efficient Landscape Ordinance.

Print Name: _____ Date: _____

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Signature: _____ License Number: _____

Address: _____

Telephone: _____ E-mail Address: _____

Landscape Design Professional's Stamp (if Appropriate)



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REVISIONS	DATE



3-Story Duplex & Two 1-Story ADU's
729 & 731 W. 4th Avenue
La Habra, CA 90631

IRRIGATION LEGEND
AND CALC'S

DATE:
8-22-2023
DRAWN BY:
RAG
JOB NO.:

SCALE:
PER PLAN

SHEET NO.
LLC.1

7 OF 12 SHEETS

Establishment Schedule						Permanent Schedule						Permanent Schedule Landscape Data																	
<p>When the landscape is new, schedule the Weathermatic smart controller for watering mode "Basic". This means the controller will execute your schedule, not an automatic one. After 1 year, switch to Water mode "Smart". This will ensure that the new plants are watered correctly while they are getting established.</p>						<p>When the landscape is new, schedule the Weathermatic smart controller for watering mode "Basic". This means the controller will execute your schedule, not an automatic one. After 1 year, switch to Water mode "Smart". This will ensure that the new plants are watered correctly while they are getting established.</p>						<p>Landscape data for Smart Controller After Plants are Established</p>																	
<p>Establishment Schedule (first year after planting)</p>						<p>Permanent Schedule (second year after planting)</p>						<table border="1"> <thead> <tr> <th>Zones</th> <th>Sprinkler Type</th> <th>Plant Type</th> <th>Soil Type</th> <th>Slope</th> <th>More or Less</th> </tr> </thead> <tbody> <tr> <td>All</td> <td>Inline drip, 0.96 inch (enter this rate manually in controller)</td> <td>Native (25%)</td> <td>Silty sand</td> <td>None</td> <td>Adjust individual zones for shade per controller instructions</td> </tr> </tbody> </table>						Zones	Sprinkler Type	Plant Type	Soil Type	Slope	More or Less	All	Inline drip, 0.96 inch (enter this rate manually in controller)	Native (25%)	Silty sand	None	Adjust individual zones for shade per controller instructions
Zones	Sprinkler Type	Plant Type	Soil Type	Slope	More or Less																								
All	Inline drip, 0.96 inch (enter this rate manually in controller)	Native (25%)	Silty sand	None	Adjust individual zones for shade per controller instructions																								
Zones	Plant Type	Month	Application Rate	Weekly ETo	Minutes Per Week	Zones	Plant Type	Month	Application Rate	Weekly ETo	Minutes Per Week	Zones	Plant Type	Month	Application Rate	Weekly ETo	Minutes Per Week												
All	Low water	January	.96 in/hr	0.5 in.	28 47	All	Low water	January	.96 in/hr	0.5 in.	7 23.5	All	Low water	January	.96 in/hr	0.5 in.	7 23.5												
All	Low water	February	.96 in/hr	0.66 in.	38 49.5	All	Low water	February	.96 in/hr	0.66 in.	9 24.5	All	Low water	February	.96 in/hr	0.66 in.	9 24.5												
All	Low water	March	.96 in/hr	0.84 in.	47 59.4	All	Low water	March	.96 in/hr	0.84 in.	12 34	All	Low water	March	.96 in/hr	0.84 in.	12 34												
All	Low water	April	.96 in/hr	1.1 in.	61 512.2	All	Low water	April	.96 in/hr	1.1 in.	15 42.8	All	Low water	April	.96 in/hr	1.1 in.	15 42.8												
All	Low water	May	.96 in/hr	1.24 in.	66 611.5	All	Low water	May	.96 in/hr	1.24 in.	17 44.3	All	Low water	May	.96 in/hr	1.24 in.	17 44.3												
All	Low water	June	.96 in/hr	1.35 in.	73 710.7	All	Low water	June	.96 in/hr	1.35 in.	19 44.8	All	Low water	June	.96 in/hr	1.35 in.	19 44.8												
All	Low water	July	.96 in/hr	1.4 in.	78 711.2	All	Low water	July	.96 in/hr	1.4 in.	19 44.8	All	Low water	July	.96 in/hr	1.4 in.	19 44.8												
All	Low water	August	.96 in/hr	1.33 in.	74 710.6	All	Low water	August	.96 in/hr	1.33 in.	18 44.5	All	Low water	August	.96 in/hr	1.33 in.	18 44.5												
All	Low water	September	.96 in/hr	1.17 in.	66 79.28	All	Low water	September	.96 in/hr	1.17 in.	16 35.3	All	Low water	September	.96 in/hr	1.17 in.	16 35.3												
All	Low water	October	.96 in/hr	0.88 in.	49 59.8	All	Low water	October	.96 in/hr	0.88 in.	12 34	All	Low water	October	.96 in/hr	0.88 in.	12 34												
All	Low water	November	.96 in/hr	0.61 in.	34 48.5	All	Low water	November	.96 in/hr	0.61 in.	8 24	All	Low water	November	.96 in/hr	0.61 in.	8 24												
All	Low water	December	.96 in/hr	0.43 in.	24 46	All	Low water	December	.96 in/hr	0.43 in.	6 23	All	Low water	December	.96 in/hr	0.43 in.	6 23												
DAYS/MIN.						DAYS/MIN.						DAYS/MIN.																	

WATER AUDIT NOTE

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE.
2. MEASURE SPACING AND MARK MID-POINTS BETWEEN HEADS.
3. PLACE WATER MEASURING RECEPTACLES.
4. TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS.
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.

MAINTENANCE TASK	FREQUENCY
1. CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET, IF NECESSARY.	QUARTERLY
2. IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH AS NECESSARY.	MONTHLY
3. POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT REPAIR AS NEEDED.	QUARTERLY
4. REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.	QUARTERLY
5. MAINLINE AND LATERALS VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH.	QUARTERLY
6. SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.	WEEKLY
7. FILTERS AND STRAINERS VISUALLY CHECK FOR LEAKS, BROKEN FITTING, CLEAN AND FLUSH SCREENS.	MONTHLY

WATER AUDIT NOTE

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

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6. SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.	WEEKLY
7. FILTERS AND STRAINERS VISUALLY CHECK FOR LEAKS, BROKEN FITTING, CLEAN AND FLUSH SCREENS.	MONTHLY

REVISIONS	DATE



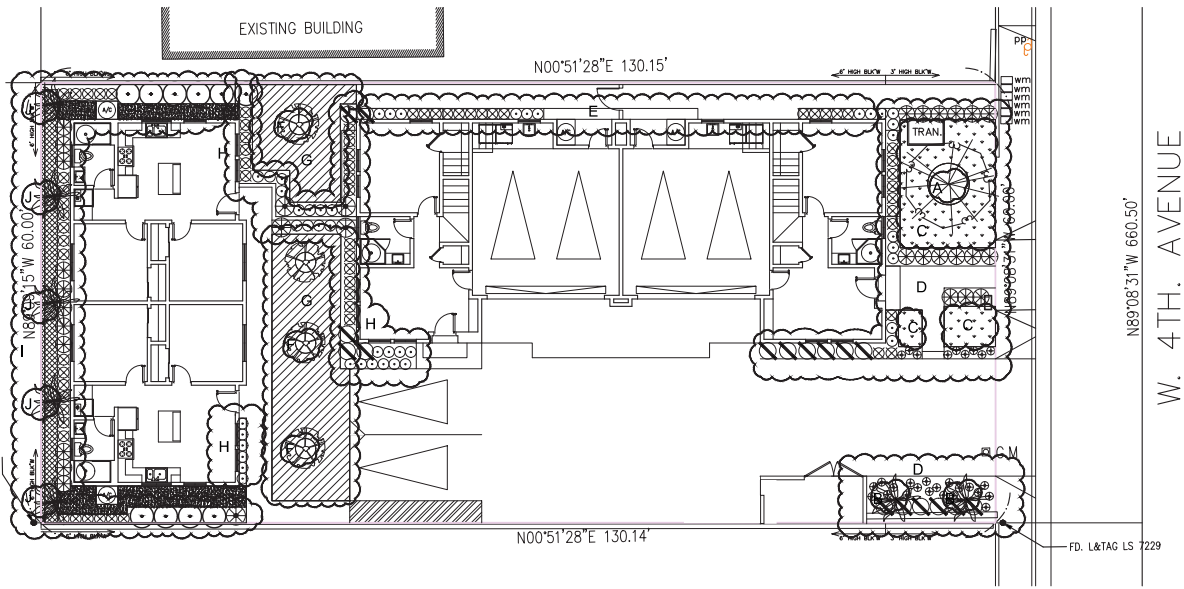
3-Story Duplex & Two 1-Story ADU's
729 & 731 W. 4th Avenue
La Habra, CA 90631

IRRIGATION SCHEDULES,
AUDIT AND MAINTENANCE

DATE:
8-22-2023
DRAWN BY:
RAG
JOB NO.:

SCALE:
PER PLAN

SHEET NO.
LSA.1
8 OF 12 SHEETS



W. 4TH. AVENUE

N89°08'31\"/>

FD. L&TAG LS 7229

HYDRO ZONE	SQ FT	% OF TOTAL LS AREA	PLANT TYPE	PLANT FORM	HYDROZONE BASIS	HYDROZONE DESCRIPTION	EXPOSURE	IRRIGATION METHOD	IRRIGATION DEVICE MANUF/MODEL/NUMBER	ZONE PRESSURE	PRECIP RATE	ZONE GPM	CONTROLLER STATION	
A	25	1.27%	L	24B	SU	TREES	SUN-MOST OF DAY	B	RAINBRD BUBBLER	30	.53	2.0	A7	
B	200	10.18%	M	15G	SU	PALM	SUN-MOST OF DAY	B	RAINBRD BUBBLER	30	.53	6.0	A10	
C	280	14.25%	L	S00	SU	TURF	SUN-MOST OF DAY	D	RAINBRD DRIP	30	.53	7.0	A8	
D	340	17.30%	L	1G/5G/15G	SU	SHRUBS	SUN-MOST OF DAY	D	RAINBRD DRIP	30	.53	4.0	A9	
E	100	5.09%	L	1G/5G/15G	SU	SHRUBS	SUN-MOST OF DAY	D	RAINBRD DRIP	30	.53	2.0	A6	
F	30	1.53%	L	24B	SU	TREES	SUN-MOST OF DAY	B	RAINBRD BUBBLER	30	.53	6.0	A3	
G	350	17.81%	L	FLATS	SU	GROUNDCOVER	SUN-MOST OF DAY	D	RAINBRD DRIP	30	.53	4.0	A4	
H	280	14.25%	L	1G/5G/15G	SU	SHRUBS	SUN-MOST OF DAY	D	RAINBRD DRIP	30	.53	3.0	A5	
I	320	16.29%	L	F/1G/5G/15G	SU	SHRUBS/GC	SUN-MOST OF DAY	D	RAINBRD DRIP	30	.53	4.0	A2	
J	40	2.03%	M	15G	SU	PALMS	SUN-MOST OF DAY	B	RAINBRD BUBBLER	30	.53	10.0	A1	
T	TURF		SE	SEED										
H	HIGH		SO	S00				HYDROZONE BASIS					IRRIGATION METHOD	
M	MEDIUM		F	FLAT				PL	PLANT TYPE				D	DRIP
LVL	LOW, VERY LOW		P	PLUG				IR	IRRIGATION METHOD				S	SMALL ROTOR
O	OTHER		Q	QUART				SU	SUN EXPOSURE				L	LARGE ROTOR
			1G	1 GALLON				SO	SOIL TYPE				B	BUBBLER
			5G	5 GALLON				SL	SLOPE				M	MICROSPRAY
			15G	15 GALLON				O	OTHER				O	OTHER
			24	24 BOX									SP	SPRAY
			36	36 BOX										
			48	48 BOX										

BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) PUBLISHED BY STATE OF CA DEPT OF WATER RESOURCES

HOLD HARMLESS AND INDEMNIFICATION CLAUSE
 CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

CONSTRUCTION NOTES:
 1. THIS PROJECT WILL COMPLY WITH 2022 CBC, CMC, CPC, AND 2022 CEC AND 2022 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
 2. THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
 3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.
 4. ALL EXISTING LANDSCAPE AND HARDSCAPE WILL BE REMOVED FROM THE BACK YARD AS DESCRIBED IN THE CALLOUTS. EXISTING ELEMENTS TO BE PROTECTED IN PLACE ARE IDENTIFIED IN THE CALLOUTS.



REVISIONS	DATE



3-Story Duplex & Two 1-Story ADU's
 729 & 731 W. 4th Avenue
 La Habra, CA 90631

HYDROZONE PLAN

DATE: 8-22-2023
 DRAWN BY: RAG
 JOB NO:
 SCALE: PER PLAN

SHEET NO.
LHZ.1
 9 OF 12 SHEETS

IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Scope of Work: Provide all labor, materials, transportation, and services necessary to furnish and install the Irrigation System as shown on the Drawings and described herein.
- B. Standards: All work and materials shall comply with governing codes, safety orders, standards, and regulations.

1.02 QUALITY ASSURANCE & REQUIREMENTS

- A. Permits and Fees: The Contractor shall obtain and pay for any and all permits and all observations as required.
- B. Manufacturer's Directions: Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturer's articles used in this Contract furnish directions covering points not shown in the Drawings and Specifications.
- C. Ordinances and Regulations: All local, municipal and state laws, and rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these Specifications, and their provisions shall be carried out by the Contractor. Anything contained in these Specifications shall not be construed to conflict with any of the above rules, regulations, or requirements of the same. However, when these Specifications and Drawings call for or describe materials, workmanship, or their provisions of a better quality, higher standard, or larger size than is required by the above rules and regulations, the provisions of these Specifications and Drawings shall take precedence.

D. Explanation of Drawings:

- 1. Due to the Scale of the Drawings, it is not possible to indicate all offsets, fitting, sleeves, etc., which may be required. The Contractor shall carefully investigate the structural and finished conditions affecting all of his work and plan his work accordingly, furnished such fittings, etc., as may be required to meet the conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts with the existing irrigation system, planting and architectural features.
- 2. All work called for on the Drawings by notes or details such as furnished and installed whether or not specifically mentioned in the specifications.
- 3. The Contractor shall not willfully install the irrigation system as shown on the Drawings when it is obvious in the field that obstructions, grade differences, or discrepancies in area dimensions exist that might not have been considered engineering. Such obstructions or differences should be brought to the attention of the Landscape Architect. In the event this notification is not performed, the Contractor shall assume full responsibility for any revision necessary.

1.03 SUBMITTALS

A. Material list:

- 1. The Contractor shall furnish the articles, equipment, materials, or processes specified by name in the Drawings and Specifications. No substitution will be allowed without prior written approval by the City.
- 2. Complete material list shall be submitted prior to performing any work. Material list shall include the manufacturer, model number, and description of all materials and equipment to be used. Although manufacturer and other information may be different, the following is a guide to proper submittal format:

Item No.	Description	Manufacturer	Model No.
1	Backflow Preventer	Febco	825V
2	Automatic Controller	Calsenco	ET14DR2
3	Master Valve	Clayco	136ACSKC-24V
4	Etc.	Etc.	Etc.

Irrigation submittal must be specific and complete. All items must be listed and should include solvent, primer, wire, connectors, valve boxes, etc. No copies of manufacturer's literature (catalog cuts) are required as submittal information.

- 3. The Contractor may submit substitutions for equipment and materials listed on the Drawings by following procedures as outlined in Section 1.05 of the Irrigation Specifications.
- 4. Equipment or materials installed or furnished without prior approval of the City may be rejected and the Contractor may be required to remove such materials from the site at his own expense.
- 5. Approval of any item, alternative or substitute indicates only that the product or products apparently meet the requirements of the Drawings and Specifications on the basis of the information or samples submitted.
- 6. Manufacturer's warranties shall not relieve the Contractor of his liability under the guarantee. Such warranties shall only supplement the guarantee.

B. RECORD DRAWINGS:

- 1. The Contractor shall provide and keep up-to-date a complete record set of blue-line original prints which shall be corrected daily, showing every change from the original Drawings and Specifications and the exact installed locations, sizes, and kinds of equipment. Prints for this purpose may be obtained from the City at cost. This set of drawings shall be kept on the site and shall be used only as a record set.
- 2. The Contractor shall make neat and legible notations on the record drawing progress sheets daily as the work proceeds, showing the work as actually installed. For example, should a piece of equipment be installed in a location that does not match the plan, the Contractor must indicate that equipment and materials in a graphic manner so as to match the original symbols as indicated in the Irrigation legend. The relocated equipment and dimensions will then be transferred to the original record drawing plan at the proper time.

- 3. Before the date of the final observation, the Contractor shall transfer all information from the "record drawing" prints to a sepi-a mylar or similar mylar material. Arrangements shall be made through the city for obtaining said sepi-a mylar or similar mylar material. All work shall be in waterproof India ink and applied to the mylar by a technical pen made expressly for use on mylar material. Such pens shall be similar to those manufactured by Rapidograph, Kueffel & Exner, or Faber Castell. The dimensions shall be made as to the easily readable even on the final controller chart (see Section C). The original mylar "record drawing" plan shall be submitted to the City for approval prior to the completion of the controller chart.

- 4. The Contractor shall dimension from two (2) permanent points of reference, such as building corners, sidewalk curb intersections, etc., the location of the following items:
 - a. Connection to existing water lines.
 - b. Connection to existing electrical service.
 - c. Gate valves.
 - d. Location of sprinkler pressure lines (dimension max. 10' along routing).
 - e. Sprinkler controller valves.
 - f. Routing of control wiring and locations of all splice boxes.
 - g. Quick coupling valves.
 - h. Stub-outs for future connections.
 - i. Other related equipment as directed by the City.
- 5. On or before the date of the final field observation, the Contractor shall deliver the corrected and completed copies to the City. Delivery of copies will not relieve the Contractor of the responsibility of furnishing required information that may be omitted from the prints.

C. Controller Charts:

- 1. As-built drawings shall be approved by the Owner before controller charts are prepared.
- 2. Provide one controller chart for each controller system.
- 3. The chart shall show the area controlled by the automatic controller and shall be the maximum size which the controller door will allow.
- 4. The chart is to be a reduced drawing of the actual installed system. However, in the event the controller sequence is not legible when the drawing is reduced, it shall be enlarged to a size that will be readable when reduced.
- 5. The chart shall be a black line or blue-line azalea print and a different color shall be used to indicate the area of coverage for each station.
- 6. When completed and approved, the chart shall be mechanically sealed between two pieces of plastic, each piece being a minimum 20 inches.
- 7. These charts shall be completed and approved prior to the final field observation of the irrigation system.

D. Operation and Maintenance Manuals:

- 1. Prepare and deliver to the Owner within ten calendar days prior to completion of construction, two hard-copy, three ring binders containing the following information:
 - a. Index sheet which states Contractor's name, address, and telephone number, and which lists each installed equipment and material item including names and addresses of manufacturers local representatives.
 - b. Catalog and part sheets on every material and equipment item installed under this Contract.
 - c. Guarantee statement.
 - d. Complete operating and maintenance instructions on all major equipment.
- 2. In addition to the above mentioned maintenance manuals, provide the Owner's maintenance personnel with instructions for major equipment and show evidence in writing to the Owner at the conclusion of the project that this service has been rendered.

E. Equipment to be Furnished:

- 1. Supply as a part of this contract the following tools:
 - a. Two (2) sets of special tools required for removing, disassembling and adjusting each type of sprinkler and valve supplied on this contract.
 - b. Two (2) four-foot valve keys for operation of gate valves.
 - c. Two (2) keys for each automatic controller.
 - d. One (1) quick couplet key and matching hose swivel for every (5) or fraction thereof of each type of quick coupling valve installed.
- 2. The above mentioned equipment shall be turned over to the Owner at the conclusion of the project. Before final observation can occur, evidence that the Owner has received material must be provided to the Owner.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Handling of PVC pipe and fittings: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing PVC pipe and fittings. All PVC pipe shall be transported in a vehicle which allows the length of pipe to lie flat so as not to subject it to undue bending or a concentrated external load at any point. Any section of pipe that has been dented or damaged will be discarded, and if installed, shall be replaced with new piping.

1.05 SUBSTITUTIONS

- A. If the Contractor wishes to substitute any equipment or materials for the equipment or materials listed on the Drawings and Specifications, he may do so by providing the following information to the City and Owner for approval:
 - 1. Provide a statement indicating the reason for making the substitution. Use a separate sheet of paper for each item to be substituted.
 - 2. Provide descriptive catalog literature, performance charts and flow charts for each item to be substituted.

- 3. Provide the amount of cost savings if the substituted item is approved.
- B. The City and the Owner shall have the sole responsibility in accepting or rejecting any submittal item as an approved equal to the equipment and materials listed on the Drawings and Specifications.

1.06 GUARANTEE (1 YEAR IRRIGATION WARRANTY)

- A. The guarantee for the irrigation system shall be made in accordance with the attached form. The General Conditions and Supplementary Conditions of these Specifications shall be filed with the City prior to acceptance of the irrigation system.
- B. A copy of the Guarantee form shall be included in the operations and maintenance manual.
- C. The guarantee form shall be re-typed onto the Contractor's letterhead and shall contain the following information:
 - 1. Project name
 - 2. Location
 - 3. Signed: _____
 - 4. Addressed: _____
 - 5. Phone: _____ DATE OF ACCEPTANCE: _____

WE HEREBY GUARANTEE THAT THE IRRIGATION SYSTEM WE HAVE FURNISHED AND INSTALLED IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE, OR NEGLIGENCE EXCEPTED. WE AGREE TO REPAIR OR REPLACE ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH MAY DEVELOP DURING THE PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE AND ALSO TO REPAIR OR REPLACE ANY DAMAGE RESULTING FROM THE REPAIRING OR REPLACING OF SUCH DEFECTS AT AN ADDITIONAL COSTS TO THE OWNER. WE SHALL MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN A REASONABLE TIME, AS DETERMINED BY THE OWNER, AFTER RECEIPT OF WRITTEN NOTICE. IN THE EVENT OF OUR FAILURE TO MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN A REASONABLE TIME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER, WE AUTHORIZE THE OWNER TO PROCEED TO HAVE SAID REPAIRS OR REPLACEMENTS MADE AT OUR EXPENSE AND WE WILL PAY THE COSTS AND CHARGES THEREOF UPON DEMAND.

GUARANTEE FOR IRRIGATION SYSTEM

- 1. We hereby guarantee that the irrigation system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the Drawings and Specifications, ordinary wear and tear, unusual abuse, or neglect excepted. We agree to repair or replace any defects in material or workmanship which may develop during the period of one year from date of acceptance and also to repair or replace any damage resulting from the repairing or replacing of such defects at an additional costs to the Owner. We shall make such repairs or replacements within a reasonable time, as determined by the Owner, after receipt of written notice. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefor upon demand.

PROJECT:

LOCATION:

SIGNED:

ADDRESS:

PHONE: _____ DATE OF ACCEPTANCE: _____

PART 2 - PRODUCTS

2.01 MATERIALS

- A. General: Use only new materials of brands and types noted on drawings, specified herein, or approved equals.
- B. PVC Pressure Main Line Pipe and Fittings:
 - 1. Pressure main line piping for sizes 2" and larger shall be PVC Class 315.
 - 2. Class 315 pipe shall be made from an NSF approved Type 1, Grade I PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specification PS-22-76, with an appropriate standard dimension ratio (SDR) (Subsovereign).
 - 3. Pressure main line piping for sizes 1-1/2" and smaller shall be PVC Schedule 40 with solvent welded joints.
 - 4. Schedule 40 pipe shall be made from NSF approved Type 1, Grade I PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specification PS-22-76.
 - 5. PVC solvent-weld fittings shall be Schedule 40, 1/4" NSF approved conforming to ASTM test procedure D2466.
 - 6. Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of type and installation methods prescribed by the manufacturer.
 - 7. All PVC pipe must bear the following markings:
 - a. Manufacturer's name
 - b. Nominal pipe size
 - c. Schedule or class
 - d. Pressure rating in P.S.I. or NSF (National Sanitation Foundation) approval
 - e. Date of extrusion
 - 8. All fittings shall bear the manufacturer's name or trademark, material designation, size, applicable I.P.S. schedule and NSF seal of approval.
- C. PVC Non-Pressure Lateral Line Piping:
 - 1. Non-pressure buried lateral line piping shall be PVC Schedule 40 with solvent-welded joints when installed in planting areas.
 - 2. Non-pressure lateral line piping installed under paved areas shall be PVC Schedule 40 with solvent welded joints.
 - 3. Pipe shall be made from NSF approved, Type I, Grade II PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specification PS-22-76 with an appropriate standard dimension ratio.
 - 4. Except as noted in paragraphs 1, 2, and 3 of this section (2.01B), all requirements for non-pressure lateral line pipe and fittings shall be the same as for solvent-weld pressure main line pipe and fittings as set forth in section 2.01B of the Specifications.
- D. Brass Pipe and Fittings:
 - 1. Where indicated on the Drawings, use red brass covered pipe conforming to Federal Specification #WV-P-351.
 - 2. Fittings shall be red brass conforming to Federal Specification #WV-P-460.

E. Copper Pipe and Fittings:

- 1. Pipe: Type K, hard tempered.
- 2. Fittings: wrought copper, solder joint type.
- 3. Joints shall be soldered with silver solder, 45% silver, 15% copper, 16% zinc, 24% cadmium, solders at 1125°F, and liquidus at 1145°F.

F. Valves:

- 1. Ball Valves (1-1/2" and smaller)
 - a. Ball valves shall be a 125-lb SWP bronze valve with screw-in bonnet, nonrising stem, and solid wedge disc with a stainless steel handle.
 - b. Ball valves shall be similar to those manufactured by Nibco or approved equal.
 - c. All Ball valves shall be installed per detail.
- 2. Resilient Wedge Gate Valve (2" and larger)
 - a. Resilient Wedge Gate valves shall be epoxy coated cast iron and equipped with a 2" operating nut.
 - b. Resilient Wedge Gate valves shall be No. 403 RT-BW as supplied by Water Works of approved equal.
 - c. All Resilient Wedge Gate valves shall be installed per detail.

G. Quick Coupling Valves:

- 1. Quick coupling valves shall have a brass, two-piece body designed for working pressure of 150 P.S.I.
- 2. Quick coupling valve shall be operable with a quick coupling key. Key size and type shall be as shown on the Drawings.

H. Backflow Prevention Units:

- 1. Backflow prevention unit shall be of size and type indicated on the irrigation drawings. Install backflow prevention units in accordance with the Drawings.
- 2. Wee strainers at backflow prevention units shall have a brushed screened body with 60 mesh mesh screen and shall be similar to Bailey of approved equal.
- 3. All pressure main line piping between the point of connection and the backflow preventer shall be installed as required by local code. The Contractor shall verify with the local governing body as to material type and installation procedures prior to start of construction. Submit shop drawing for approval.

I. Check Valves:

- 1. Swing check valves 2" and smaller shall be 200 pound W.D.G. bronze construction with replaceable composition, neoprene, or rubber disc and shall meet or exceed Federal Specification W10v-51D, Class A, Type IV.
- 2. Anti-drain valves shall be of heavy duty virgin PVC construction with P.E.P. three rib seal and nut. Internal parts shall be stainless steel and neoprene. Anti-drain valve shall be field adjustable against drainage from 5 to 40 feet of head. Anti-drain valve shall be similar to the Valco "ADVO" or approved equal.

J. Control Wiring:

- 1. Except as noted otherwise, connections between the automatic controllers and the electric control valves shall be made with direct burial copper wire AWG#12, 600 volt. Control wiring installed in control wire conduit within structure shall be made with AWG-14 solid copper wire. Pilot wires shall be a different color wire for each automatic controller. Common wires shall be white with a different color stripe for each automatic controller. Install in accordance with wire manufacturer's specifications and valve chart. In no case shall wire size be less than #14.
- 2. Wiring shall occupy the same trench and shall be installed along the same route as pressure supply or lateral lines wherever possible.
- 3. Where more than one (1) wire is placed in a trench, the wiring shall be taped together at intervals of fifteen (15) feet.
- 4. An expansion curb shall be provided within three (3) feet of each pipe connection. Expansion curb shall be of sufficient length at each pipe connection and each electric control valve, so that in case of repair, the valve bonnet may be brought to the surface without disconnecting the control wires. Control wires shall be laid loosely in trench without stress or stretching wire conductors.
- 5. All splices shall be made with Scotchlok #3576 Connector Sealing Packs, Rated Snap-Tite wire connectors, or approved equal. Make only one splice with each connector sealing pack.
- 6. Field splices between the automatic controller and electric control valves will not be allowed without prior approval of the City.

K. Automatic Controller:

- 1. Automatic controller(s) shall be of size and type shown on the Drawings.
- 2. Final location of automatic controller(s) shall be approved by the Landscape Architect and Owner.
- 3. Pipe shall be made from NSF approved, Type I, Grade II PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specification PS-22-76 with an appropriate standard dimension ratio.
- 4. Except as noted in paragraphs 1, 2, and 3 of this section (2.01B), all requirements for non-pressure lateral line pipe and fittings shall be the same as for solvent-weld pressure main line pipe and fittings as set forth in section 2.01B of the Specifications.

L. Electric Control Valves:

- 1. All electric control valves shall be the same size and type shown on the Drawings.
- 2. All electric control valves shall have a manual flow control valve installed on the control valve.
- 3. Provide and install one control valve box for each electric control valve.

M. Control Valve Boxes:

- 1. Use 10" X 16-3/4" round box for all gate valves. Carson Industries #PIB-218 with purple hold-down cover or approved equal. Extension sleeve shall be PVC with minimum size of six (6) inches.
- 2. Use 9-1/2" x 16" x 11" rectangular box for all electric control valves. Carson Industries # 1419-218 with purple hold-down cover or approved equal.
- 3. Use 6" diameter X 8-1/4" deep round plastic valve box for all quick coupling valves. Carson Industries # 608-12 with purple flexible cover or approved equal.

N. Sprinkler Heads:

- 1. All sprinkler heads shall be of the same size, type, and deliver the same rate of precipitation with the diameter (or radius) of throw, pressure, and discharge as shown on the Drawings and/or specified in these special provisions.
- 2. Spray heads shall have a screw adjustment.
- 3. Riser units shall be fabricated in accordance with the details shown on the drawings.
- 4. Riser nipples for all sprinkler heads shall be the same size as the riser opening in the sprinkler body.
- 5. All sprinkler heads of the same type shall be the same manufacturer.

O. Sheeting:

- 1. Sheeting under hardscape or paved areas for mainline, lateral lines or control wiring shall be Schedule 40 P.V.C. or approved equal.

P. Vandal Resistant Controller Enclosure:

- 1. Controller enclosure shall be of size and type shown on the Irrigation Drawings and Irrigation Detail sheet.
- 2. A backboard shall be secured to the controller enclosure housing to provide a base for mounting the automatic sprinkler controller and terminal strip.
- 3. A 117 volt duplex box shall be provided with an On/Off switch, and a 117 volt receptacle. Metal conduit shall run from the 117 volt supply to the controller housing. All power within the housing shall be properly phased.
- 4. Terminal strip shall be provided, clearly indicating the proper points of connection of all appropriate wiring (station valves, master valve, common, central control).

Q. Miscellaneous Irrigation Equipment:

- 1. Refer to the Irrigation Plans for sizes and types of miscellaneous irrigation equipment.
- 2. All miscellaneous irrigation equipment shall be as specified or approved equal.

PART 3 - EXECUTION

3.01 OBSERVATION OF SITE CONDITIONS

- A. All scaled dimensions are approximate. The Contractor shall check and verify all size dimensions and receive approval from the City prior to proceeding with work under this Section.
- B. Exercise extreme care in excavating and working near existing utilities. The Contractor shall be responsible for damages to utilities which are caused by his operations or neglect. Check existing utilities drawings for existing utility locations. Contact Dig Alert for similar service.
- C. Coordinate installation of sprinkler materials including pipe, so there shall be no interference with utilities or other construction or difficulty in planting trees, shrubs, and ground covers.
- D. The Contractor shall carefully check all grounds to satisfy himself that he may be safely proceed before starting work on the irrigation system.

3.02 PREPARATION

A. Physical layout:

- 1. Prior to installation, the Contractor shall stake out all pressure supply lines, routing and location of sprinkler heads.
- 2. All layout shall be approved by the City prior to installation.

B. Water Supply:

- 1. The irrigation system shall be connected to water supply point(s) of connection as indicated on the Drawings.
- 2. Connections shall be made at the approximate location(s) shown on the Drawings. The Contractor is responsible for minor changes caused by actual site conditions.

C. Electrical Supply:

- 1. Electrical connections for any and all automatic controllers shall be made in electrical panel(s) of connection as indicated on the Drawings.
- 2. Connections shall be made at the approximate location(s) shown on the Drawings. The Contractor is responsible for minor changes caused by actual site conditions.

3.03 INSTALLATION


A. Trenching:

- 1. Dig trenches straight and support pipe continuously on bottom of trench. Lay pipe to an even grade. Trenching excavation shall follow layout indicated on the Drawings and as noted.
- 2. Provide for a minimum of twenty-four (24) inches cover for all irrigation lines installed under paving or hardscaping.
- 3. Provide for a minimum of twenty-four (24) inches cover for all pressure supply lines three (3) inches or larger in diameter.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREPARED AND PROPERTY AND THAT THE CONTRACTOR SHALL APPLY CONTRACTORS AND NOT BE LIABLE FOR PERSONAL INJURIES AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE AND HOLDING THE OWNER HARMLESS FROM COUNTY OF LOS ANGELES, JUDICIAL BRANCH, THE ASSURANCE AGREEMENT FROM THE CONTRACTOR'S LIABILITY INSURANCE POLICY. CONTRACTOR'S PERFORMANCE OF WORK ON THE PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SCALE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOS ANGELES, JUDICIAL BRANCH, ON THE ASSURANCE ARCHITECT.

REVISIONS	DATE

Underground Service Alert

 CALL TOLL FREE
 1-800-422-4133
 THIS MESSAGE HAS BEEN LOANED

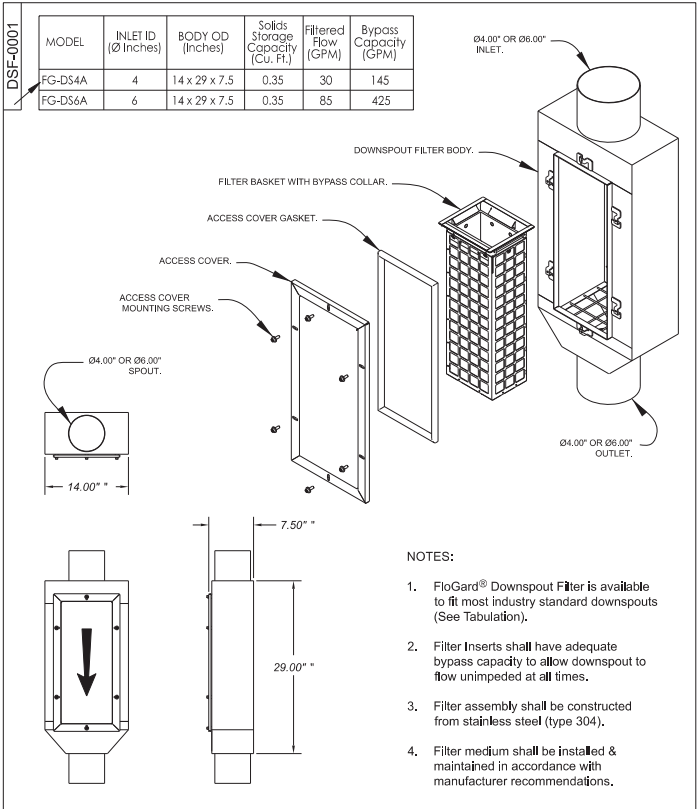


3-Story Duplex & Two 1-Story ADUs
 729 & 731 W. 4th Avenue
 La Habra, CA 90631

SPECIFICATIONS

DATE: 8-22-2023
RAG
JOB NO:
SCALE: PER PLAN

SHEET NO.
LS.1



- NOTES:**
1. FloGard® Downspout Filter is available to fit most industry standard downspouts (See Tabulation).
 2. Filter Inserts shall have adequate bypass capacity to allow downspout to flow unimpeded at all times.
 3. Filter assembly shall be constructed from stainless steel (type 304).
 4. Filter medium shall be installed & maintained in accordance with manufacturer recommendations.

FloGard®
Downspout Filter
Ø4.00" & Ø6.00" Sizes

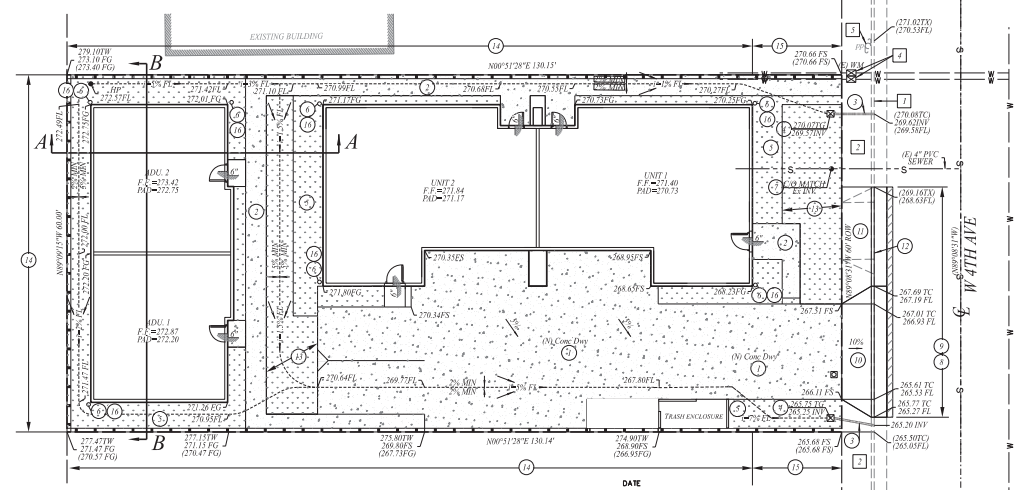
Oldcastle®
Stormwater Solutions
7921 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | P: 800.578.6818 | dcast@stormwater.com

DOWN SPOUT FILTER DETAIL (1)
N.T.S.

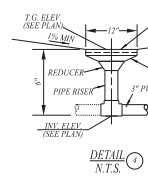
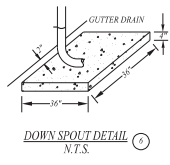
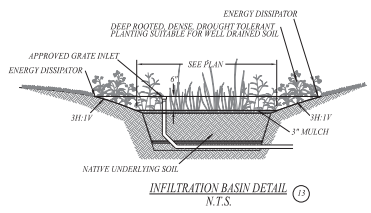
CONSTRUCTION NOTES (PROTECT IN PLACE)

ITEM	DESCRIPTION
1	PROTECT IN PLACE EXISTING CURB AND GUTTER
2	PROTECT IN PLACE EXISTING SIDEWALK
3	PROTECT IN PLACE 4" PVC SEWER LATERAL
4	PROTECT IN PLACE EXISTING WATER METER
5	PROTECT IN PLACE EXISTING POWER POLE

NOTE:
EXISTING BUILDING TO BE DEMOLISHED UNDER SEPARATE PERMIT



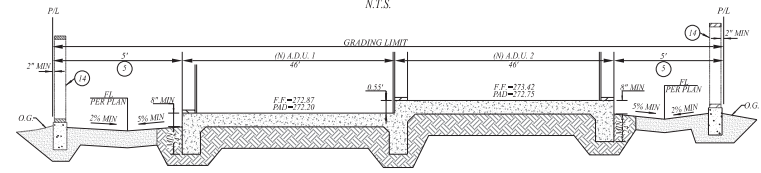
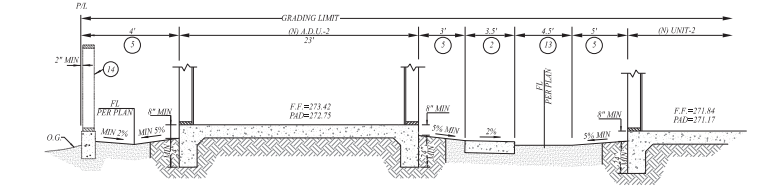
GRADING PLAN
DATE: _____
DATE: _____



CONSTRUCTION NOTES - ESTIMATED QUANTITIES

ITEM	DESCRIPTION	ONSITE	OFF-SITE
(1)	CONSTRUCT NEW 4" THICK CONCRETE DRIVEWAY & PARKING AREA	726 SF	
(2)	CONSTRUCT NEW 4" THICK CONCRETE WALKWAY	150 SF	
(3)	INSTALL CURB DRAIN WITH 3-1/2" SCH. 40 PVC PIPE PER CITY STD. PLAN		2 EACH
(4)	CONSTRUCT DRAIN BOX INLET PER DETAIL HEREON	7 EACH	
(5)	NEW LANDSCAPE AREA	650 SF	
(6)	INSTALL DOWNSPOUT PER DETAIL HEREON	7 EACH	
(7)	INSTALL NEW LATERAL CLEAN-OUT PER CITY STD	1 EACH	
(8)	REMOVE EXISTING SIDEWALK, C&G, DRIVEWAY APPROACH	300 SF	
(9)	REMOVE & REPLACE PULL DEPTH AC	30 SF	
(10)	CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STD	150 SF	
(11)	CONSTRUCT NEW CONCRETE SIDEWALK PER CITY STD	100 SF	
(12)	CONSTRUCT NEW CONCRETE C&G PER CITY STD	17 LF	
(13)	INFILTRATION BASIN	700 SF	
(14)	CONSTRUCT NEW 3" BLOCKWALL UNDER SEPARATE PERMIT	290 LF	
(15)	CONSTRUCT NEW 3" BLOCKWALL UNDER SEPARATE PERMIT	30 LF	
(16)	INSTALL DOWNSPOUT FILTER PER DETAIL HEREON	7 EACH	

* THE FOLLOWING ITEMS REQUIRE A SEPARATE PUBLIC WORKS ENCROACHMENT PERMIT: (3) (6) (10) (11)



Underground Service Alert

Call TOLL FREE
1-800-422-4133

BENCH MARK

FIG. 3 4" DIA. U.S.G.S. BRONZED DISK STAMPED "T 779 1945" SET IN THE WEST SID. OF SIDEWALK EDGE, LOCATED IN THE NORTH-EASTLY CORNER OF THE INT. OF MONTICELLI DR. 33' FROM THE CENTERLINE OF LA HABRA BLVD. 167' NORTHERLY OF CENTERLINE OF RAILWAY.

ELEV: 272.8741NAD83, 2005

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'VD

DEVELOPER/OWNER SOILS ENGINEER

PAQ COMPANY, LLC
2651 SUTTON ST
DREA, CA 92521
(714) 528-2900

N/A

APPROVED BY:

BUILDING DEPT. _____
APPROVED BY: _____
PLANNING DEPT. _____
APPROVED BY: _____
PUBLIC WORKS DIRECTOR _____
R.C.E. NO.: _____

LY PHAN, PE
ROE 63381
EXP. 09/30/2024
10820 KEANAN PL.
STANTON, CA 90680
TEL: (714) 487-7037
HOT.CIVIL@YAHOO.COM

DRAWN BY: KN
DATE: 9/2023

DESIGNED BY: LP
DATE: 9/2023

CHECKED BY: BT
DATE: 9/2023

PREPARED UNDER THE SUPERVISION OF: _____
DATE: 3/17/2024

GRADING PLAN

VMJ COMPANY, LLC
729-731 W 4TH AVE
LA HABRA, CA 90631

SHEET 2 OF 2