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21 August 2024

PROJECT TEAM

OWNER / DEVELOPER
RANDY KIMOTO
CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
(404) 765-2880

CIVIL ENGINEER
NATHAN MAHONEY, P.E.
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PETER E. WEILBACHER
PBLA SURVEYING INC.
981 CORPORATE CENTER DR, SUITE 168
POMONA, CA 91768
(888) 714-9642

UTILITY PURVEYORS

WATER
CITY OF LA HABRA
201 E LA HABRA BLVD
LA HABRA, CA 90631
(562) 905-9731

SEWER
CITY OF LA HABRA
201 E LA HABRA BLVD
LA HABRA, CA 90631
(562) 905-9731

ELECTRICITY
SOUTHERN CALIFORNIA EDISON
E. 1851 W VALENCIA DR
FULLERTON, CA 92833
(800) 655-4555

WASTE MANAGEMENT
CR&R
11292 WESTERN AVE
P.O. BOX 125
STANTON, CA 90680
(714) 372-8272

GAS
SOUTHERN CALIFORNIA GAS COMPANY
12460 MAR VISTA ST
WHITTIER, CA 90602
(877) 238-0092

BENCHMARK NOTE

COUNTY OF ORANGE BENCHMARK DESIGNATION "2B-51-05"
ELEVATION: 235.887 FEET [DATUM: NAVD 88]
YEAR LEVELED: 2005
DESCRIPTION: DESCRIBED BY OCS 2005 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "2B-51-05", SET IN THE NORTHWESTERLY CORNER OF A 4.5 FT. BY 15.0 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHWESTERLY PORTION OF THE INTERSECTION OF IMPERIAL HIGHWAY AND IDAHO, 60 FT. SOUTHERLY OF THE CENTERLINE OF IMPERIAL HIGHWAY AND 85 FT. WESTERLY OF THE CENTERLINE OF IDAHO. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

BASIS OF BEARINGS

THE BEARING OF NORTH 88°51'07" WEST, BEING THE CENTERLINE OF IMPERIAL HIGHWAY, AS SHOWN ON RECORD OF SURVEY NO. 2004-1140, FILED IN BOOK 209, PAGES 4 THROUGH 10, RECORDS OF SURVEY IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

SITE INFORMATION

SITE ADDRESS: 1801 W IMPERIAL HWY
LA HABRA, CA 90631
APN: 018-381-67
TOTAL SITE AREA: 1.03 AC
44,854 SF
ZONING CLASSIFICATION: COMMERCIAL SHOPPING CENTER HIGH DENSITY
SPECIFIC PLAN: N/A
PROPOSED USE: NO CHANGE
TOTAL LOTS: 1

FEMA FIRM FLOOD ZONE INFORMATION

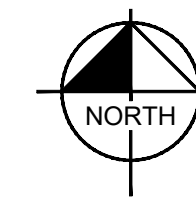
ZONE: X
DEFINITION: AREA OF MINIMAL FLOOD HAZARD. ELEVATIONS HIGHER THAN THE 0.2-PERCENT-ANNUAL-CHANCE FLOOD.
MAP NUMBER: 06059C0037J
COMMUNITY: CITY OF LA HABRA
NUMBER: 060224
EFFECTIVE DATE: 12/3/2009
REVISION DATE: NONE

SITE MODIFICATION PLANS
FOR
CHICK-FIL-A

1801 W IMPERIAL HWY
LA HABRA, CA 90631



VICINITY MAP
NTS



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	DEMOLITION PLAN
C200	SITE PLAN
C201	OVERALL SITE PLAN
C300	PRELIM GRADING AND UTILITY PLAN
C400	STORMWATER CONTROL PLAN

LEGEND

- PROPERTY LINE
- CENTER LINE
- EASEMENT OR SETBACK LINE
- APPROXIMATE CIVIL LIMIT OF WORK LINE
- SS --- SANITARY SEWER LINE
- W --- WATER LINE
- SD --- STORM DRAIN LINE
- GB --- GRADE BREAK LINE
- R --- RIDGE LINE
- FLOW LINE
- - - 165 --- PROPOSED CONTOUR
- - - 160 --- EXISTING CONTOUR
- ⊗ --- PROPOSED ROOF DRAIN DOWNSPOUT LOCATION
- XX.XX TC
XX.XX FS --- PROPOSED SPOT GRADE
- (XX.XX TC)
(XX.XX FS) --- EXISTING SPOT GRADE
- 2.0% --- PROPOSED FLOW (DIRECTION AND SLOPE)
- [Pattern] --- LANDSCAPE
- [Pattern] --- BIORETENTION AREA
- [Pattern] --- STANDARD DUTY CONCRETE PAVEMENT
- [Pattern] --- HEAVY DUTY ASPHALT CONCRETE PAVEMENT
- [Pattern] --- STANDARD DUTY ASPHALT CONCRETE PAVEMENT

ABBREVIATIONS

- AB - AGGREGATE BASE
- AC - ASPHALT
- AHJ - AUTHORITY HAVING JURISDICTION
- BC - BACK OF CURB
- BS - BOTTOM OF STAIR
- BLDG - BUILDING
- BW - BACK OF WALK
- CAB - COMPACTED AGGREGATE BASE
- CB - CATCH BASIN
- CF - CURB FACE
- C/L - CENTERLINE
- CONC. - CONCRETE
- CONST. - CONSTRUCT, CONSTRUCTION
- CSG - COMPACTED SUBGRADE
- DF - DEEPENED FOOTING
- DI - DRAIN INLET
- DW - DOMESTIC WATER
- E - EAST
- EG - EDGE OF GUTTER
- ELEC - ELECTRIC
- ESMT - EASEMENT
- EP - EDGE OF PAVEMENT
- FF - FINISHED FLOOR
- FG - FINISHED GRADE
- FL - FLOW LINE
- FS - FINISHED SURFACE
- FW - FIRE WATER
- G - GAS
- GB - GRADE BREAK
- HP - HIGH POINT
- INV - INVERT
- IRR - IRRIGATION WATER
- JS - JUNCTION STRUCTURE
- LP - LOW POINT
- MH - MANHOLE
- N - NORTH
- PCC - PORTLAND CEMENT CONCRETE
- P/L - PROPERTY LINE
- PUE - PUBLIC UTILITY EASEMENT
- PVC - POLYVINYL CHLORIDE
- R - RIDGE OR RADIUS
- RD - ROOF DRAIN
- RW - RECLAIMED WATER
- R/W - RIGHT-OF-WAY
- S - SEWER OR SOUTH
- SD - STORM DRAIN
- STA - STATION
- SS - SANITARY SEWER
- SPPWC - STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
- SW - SIDE WALK
- T - TELEPHONE
- TC - TOP OF CURB
- TS - TOP OF STAIR
- VIF - VERIFY IN FIELD
- W - WATER OR WEST
- XXX.XX - PROPOSED ELEVATION
- (XXX.XX) - EXISTING ELEVATION

SCOPE OF WORK

EXPANSION OF EXISTING BUILDING, NEW CANOPY AT MEAL ORDER POINT, NEW CANOPY AT MEAL DELIVERY POINT, REMOVAL OF THREE TREES, RESTRIPIING OF DRIVE THRU WALKWAY, AND NEW CONCRETE PAVEMENT.



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CHICK-FIL-A
LA HABRA MARKETPLACE
1801 W IMPERIAL HWY
LA HABRA, CA 90631

FSR#02043

BUILDING TYPE / SIZE:
RELEASE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 097672135
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DATE 08/23/2024
DRAWN BY JP

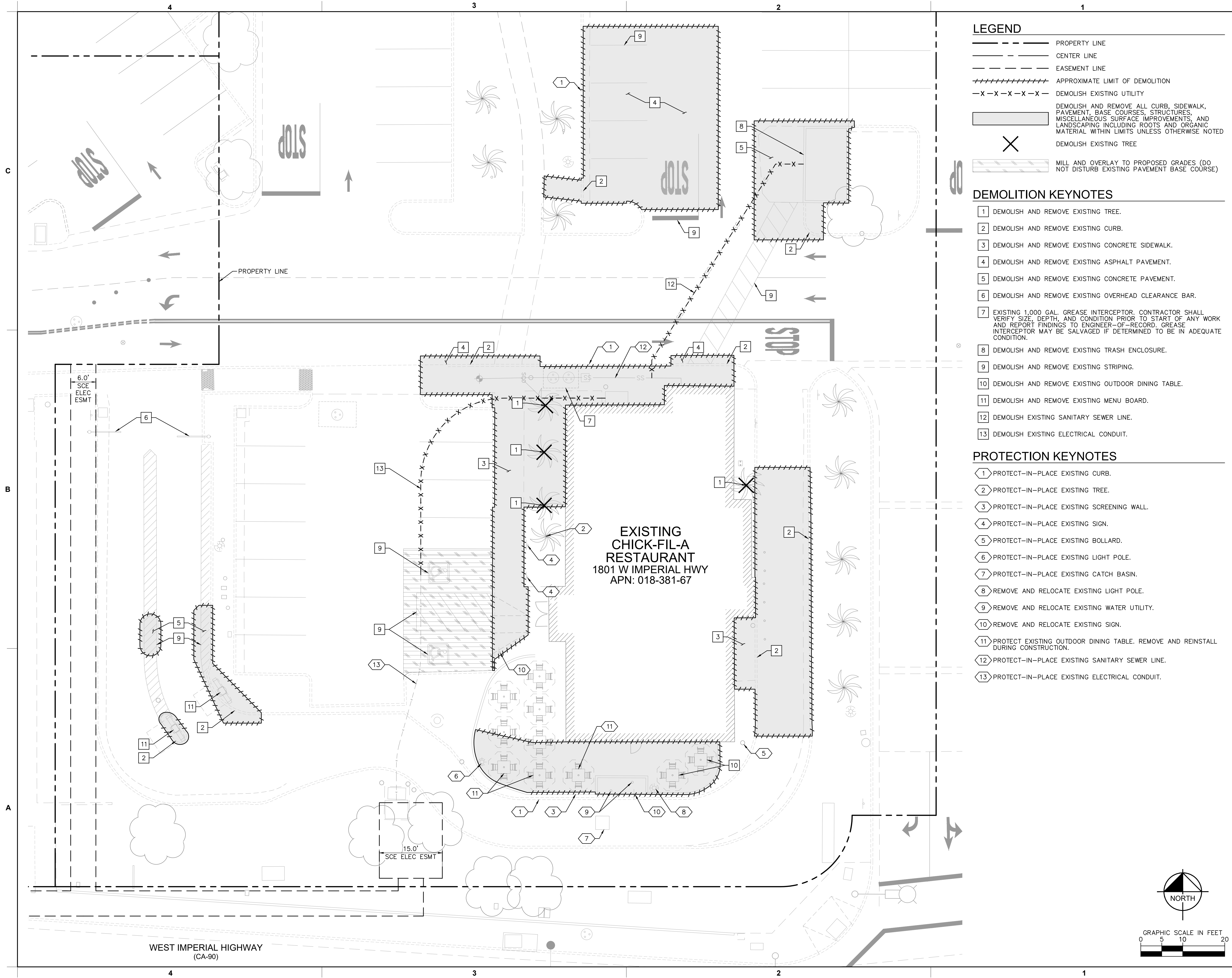
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SHEET
COVER SHEET

SHEET NUMBER

C001

k:\BAY_LDEV\chick-fil-a00 strategic reinvestment\la habra marketplace (la habra) - cfa #2043 - 097672135\03 CADD\plansheets\entitlements\C100 - DEMOLITION PLAN.dwg
23 August 2024



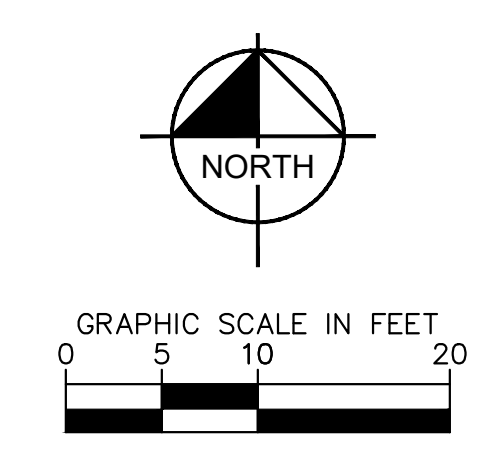
- LEGEND**
- — — — — PROPERTY LINE
 - — — — — CENTER LINE
 - - - - - EASEMENT LINE
 - APPROXIMATE LIMIT OF DEMOLITION
 - X-X-X-X-X- DEMOLISH EXISTING UTILITY
 - DEMOLISH AND REMOVE ALL CURB, SIDEWALK, PAVEMENT, BASE COURSES, STRUCTURES, MISCELLANEOUS SURFACE IMPROVEMENTS, AND LANDSCAPING INCLUDING ROOTS AND ORGANIC MATERIAL WITHIN LIMITS UNLESS OTHERWISE NOTED
 - ✕ DEMOLISH EXISTING TREE
 - ▨ MILL AND OVERLAY TO PROPOSED GRADES (DO NOT DISTURB EXISTING PAVEMENT BASE COURSE)

- DEMOLITION KEYNOTES**
- 1 DEMOLISH AND REMOVE EXISTING TREE.
 - 2 DEMOLISH AND REMOVE EXISTING CURB.
 - 3 DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK.
 - 4 DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT.
 - 5 DEMOLISH AND REMOVE EXISTING CONCRETE PAVEMENT.
 - 6 DEMOLISH AND REMOVE EXISTING OVERHEAD CLEARANCE BAR.
 - 7 EXISTING 1,000 GAL. GREASE INTERCEPTOR. CONTRACTOR SHALL VERIFY SIZE, DEPTH, AND CONDITION PRIOR TO START OF ANY WORK AND REPORT FINDINGS TO ENGINEER-OF-RECORD. GREASE INTERCEPTOR MAY BE SALVAGED IF DETERMINED TO BE IN ADEQUATE CONDITION.
 - 8 DEMOLISH AND REMOVE EXISTING TRASH ENCLOSURE.
 - 9 DEMOLISH AND REMOVE EXISTING STRIPING.
 - 10 DEMOLISH AND REMOVE EXISTING OUTDOOR DINING TABLE.
 - 11 DEMOLISH AND REMOVE EXISTING MENU BOARD.
 - 12 DEMOLISH EXISTING SANITARY SEWER LINE.
 - 13 DEMOLISH EXISTING ELECTRICAL CONDUIT.

- PROTECTION KEYNOTES**
- 1 PROTECT-IN-PLACE EXISTING CURB.
 - 2 PROTECT-IN-PLACE EXISTING TREE.
 - 3 PROTECT-IN-PLACE EXISTING SCREENING WALL.
 - 4 PROTECT-IN-PLACE EXISTING SIGN.
 - 5 PROTECT-IN-PLACE EXISTING BOLLARD.
 - 6 PROTECT-IN-PLACE EXISTING LIGHT POLE.
 - 7 PROTECT-IN-PLACE EXISTING CATCH BASIN.
 - 8 REMOVE AND RELOCATE EXISTING LIGHT POLE.
 - 9 REMOVE AND RELOCATE EXISTING WATER UTILITY.
 - 10 REMOVE AND RELOCATE EXISTING SIGN.
 - 11 PROTECT EXISTING OUTDOOR DINING TABLE. REMOVE AND REINSTALL DURING CONSTRUCTION.
 - 12 PROTECT-IN-PLACE EXISTING SANITARY SEWER LINE.
 - 13 PROTECT-IN-PLACE EXISTING ELECTRICAL CONDUIT.

EXISTING CHICK-FIL-A RESTAURANT
1801 W IMPERIAL HWY
APN: 018-381-67

WEST IMPERIAL HIGHWAY
(CA-90)



Chick-fil-A

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CHICK-FIL-A
LA HABRA MARKETPLACE
1801 W IMPERIAL HWY
LA HABRA, CA 90631

FSR#02043

BUILDING TYPE / SIZE:
RELEASE:

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

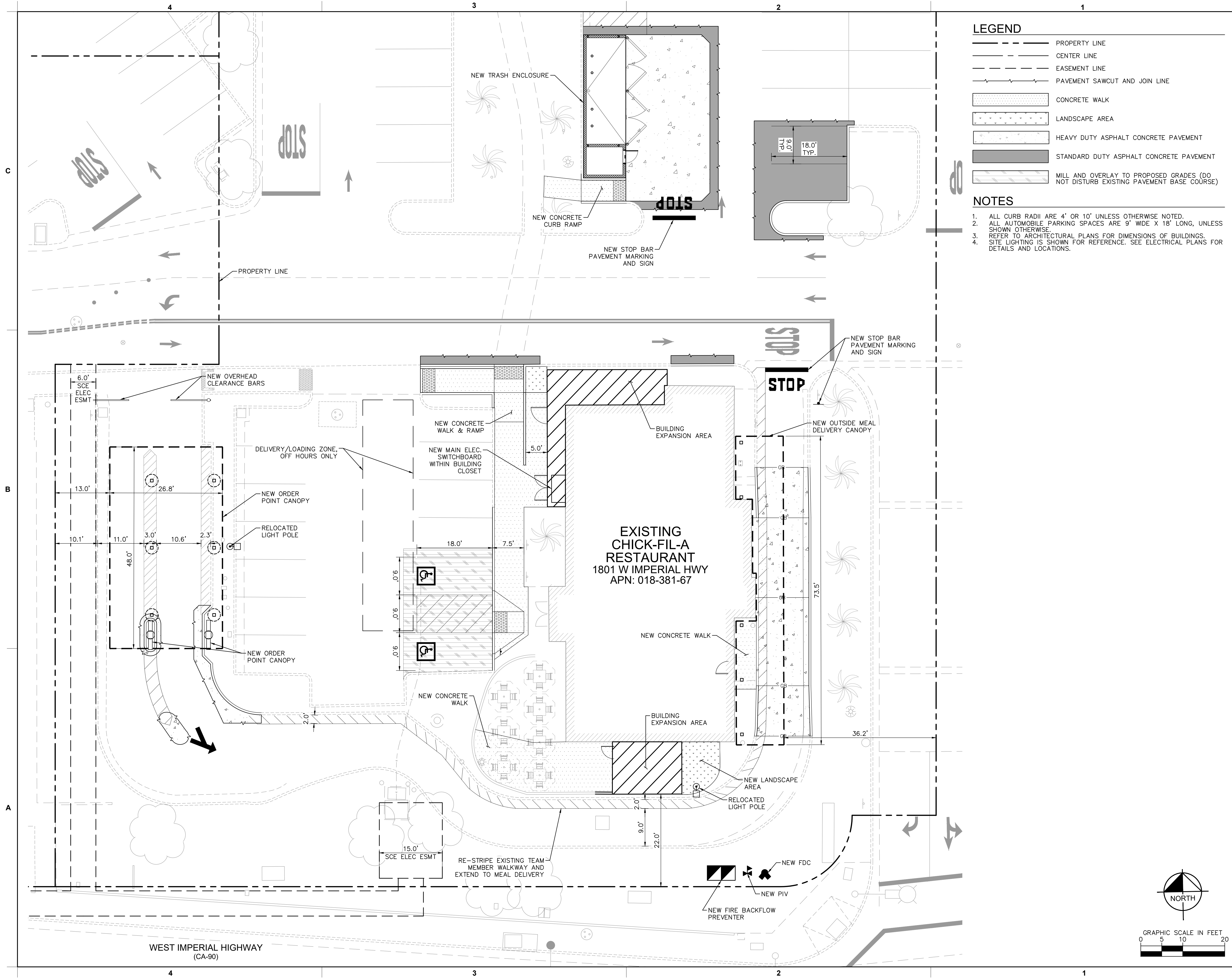
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SHEET
DEMOLITION PLAN

SHEET NUMBER
C100

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23 August 2024



LEGEND

- PROPERTY LINE
- CENTER LINE
- EASEMENT LINE
- PAVEMENT SAWCUT AND JOIN LINE
- ▨ CONCRETE WALK
- ▨ LANDSCAPE AREA
- ▨ HEAVY DUTY ASPHALT CONCRETE PAVEMENT
- ▨ STANDARD DUTY ASPHALT CONCRETE PAVEMENT
- ▨ MILL AND OVERLAY TO PROPOSED GRADES (DO NOT DISTURB EXISTING PAVEMENT BASE COURSE)

NOTES

1. ALL CURB RADII ARE 4' OR 10' UNLESS OTHERWISE NOTED.
2. ALL AUTOMOBILE PARKING SPACES ARE 9' WIDE X 18' LONG, UNLESS SHOWN OTHERWISE.
3. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS OF BUILDINGS.
4. SITE LIGHTING IS SHOWN FOR REFERENCE. SEE ELECTRICAL PLANS FOR DETAILS AND LOCATIONS.



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 LA HABRA, CA 90631

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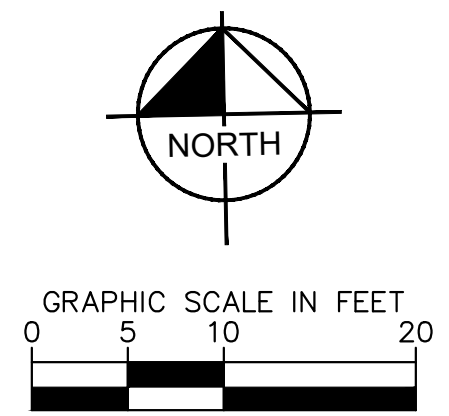
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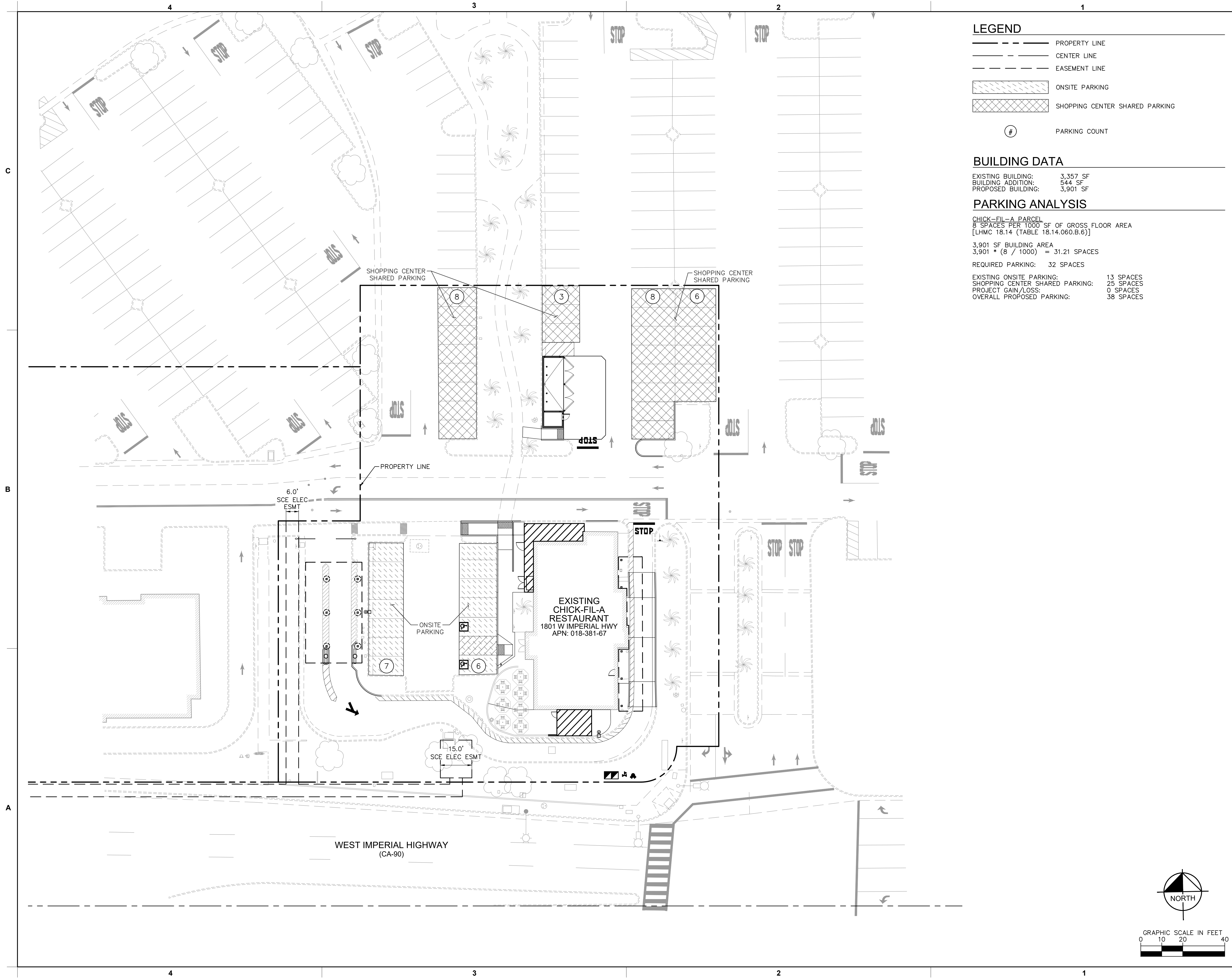
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 SHEET
 SITE PLAN

SHEET NUMBER
C200



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23 August 2024



LEGEND

- PROPERTY LINE
- - - CENTER LINE
- - - EASEMENT LINE
- [Hatched Box] ONSITE PARKING
- [Cross-hatched Box] SHOPPING CENTER SHARED PARKING
- (#) PARKING COUNT

BUILDING DATA

EXISTING BUILDING: 3,357 SF
 BUILDING ADDITION: 544 SF
 PROPOSED BUILDING: 3,901 SF

PARKING ANALYSIS

CHICK-FIL-A PARCEL
 8 SPACES PER 1000 SF OF GROSS FLOOR AREA
 [LHMC 18.14 (TABLE 18.14.060.B.6)]

3,901 SF BUILDING AREA
 3,901 * (8 / 1000) = 31.21 SPACES

REQUIRED PARKING: 32 SPACES

EXISTING ONSITE PARKING: 13 SPACES
 SHOPPING CENTER SHARED PARKING: 25 SPACES
 PROJECT GAIN/LOSS: 0 SPACES
 OVERALL PROPOSED PARKING: 38 SPACES



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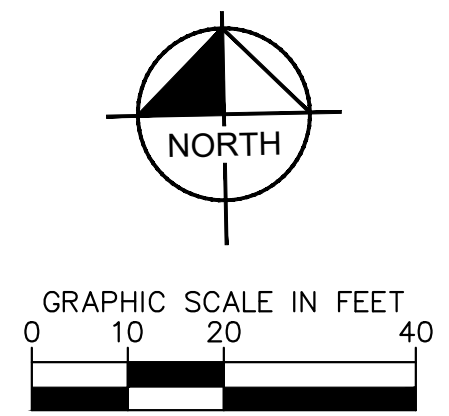
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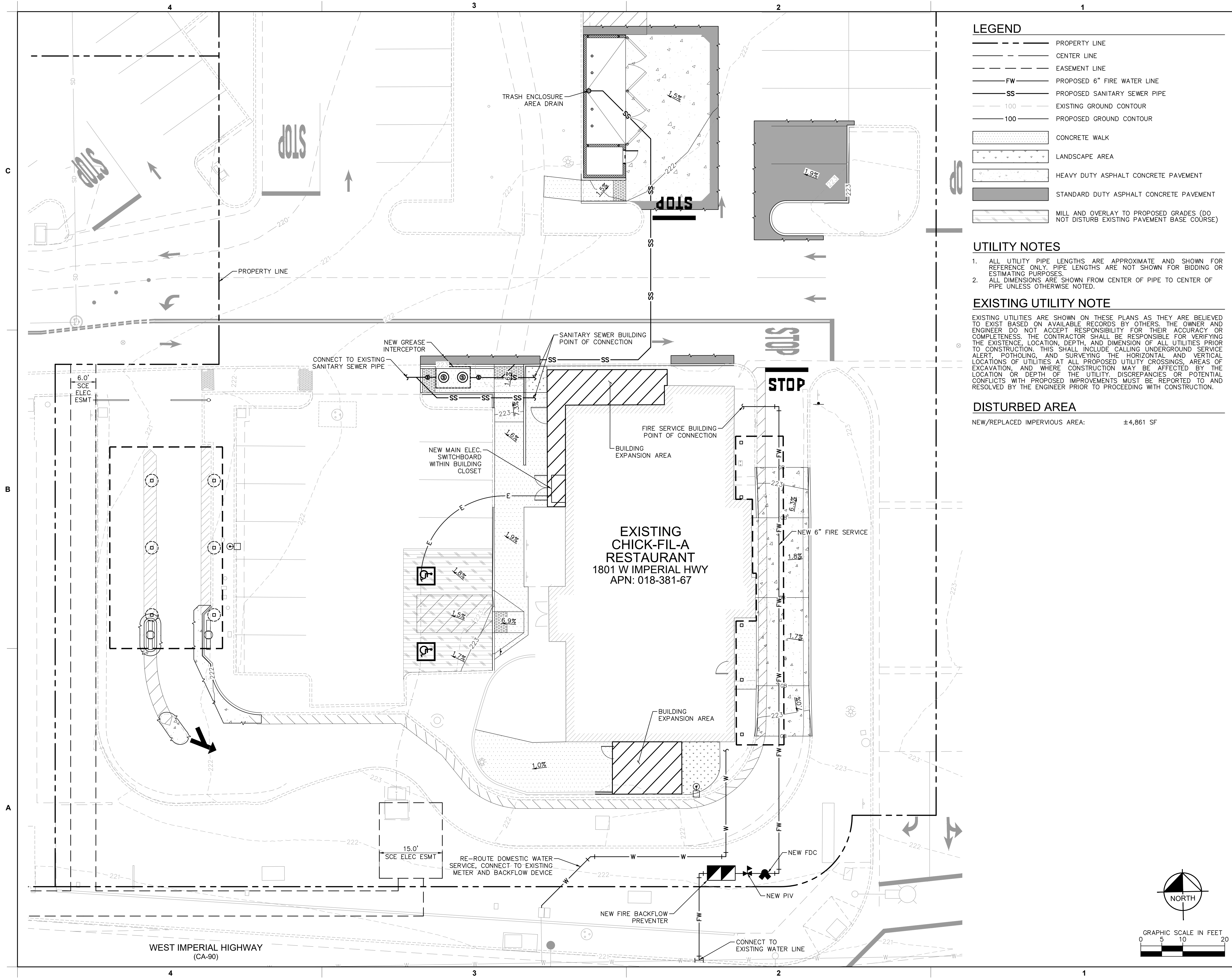
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SHEET
OVERALL SITE PLAN

SHEET NUMBER
C201



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23 August 2024



LEGEND

- PROPERTY LINE
- CENTER LINE
- EASEMENT LINE
- FW --- PROPOSED 6" FIRE WATER LINE
- SS --- PROPOSED SANITARY SEWER PIPE
- 100 --- EXISTING GROUND CONTOUR
- 100 --- PROPOSED GROUND CONTOUR
- [Pattern] CONCRETE WALK
- [Pattern] LANDSCAPE AREA
- [Pattern] HEAVY DUTY ASPHALT CONCRETE PAVEMENT
- [Pattern] STANDARD DUTY ASPHALT CONCRETE PAVEMENT
- [Pattern] MILL AND OVERLAY TO PROPOSED GRADES (DO NOT DISTURB EXISTING PAVEMENT BASE COURSE)

UTILITY NOTES

- ALL UTILITY PIPE LENGTHS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. PIPE LENGTHS ARE NOT SHOWN FOR BIDDING OR ESTIMATING PURPOSES.
- ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN ON THESE PLANS AS THEY ARE BELIEVED TO EXIST BASED ON AVAILABLE RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, AND DIMENSION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT, POT-HOLING, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AT ALL PROPOSED UTILITY CROSSINGS, AREAS OF EXCAVATION, AND WHERE CONSTRUCTION MAY BE AFFECTED BY THE LOCATION OR DEPTH OF THE UTILITY. DISCREPANCIES OR POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS MUST BE REPORTED TO AND RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

DISTURBED AREA

NEW/REPLACED IMPERVIOUS AREA: ±4,861 SF



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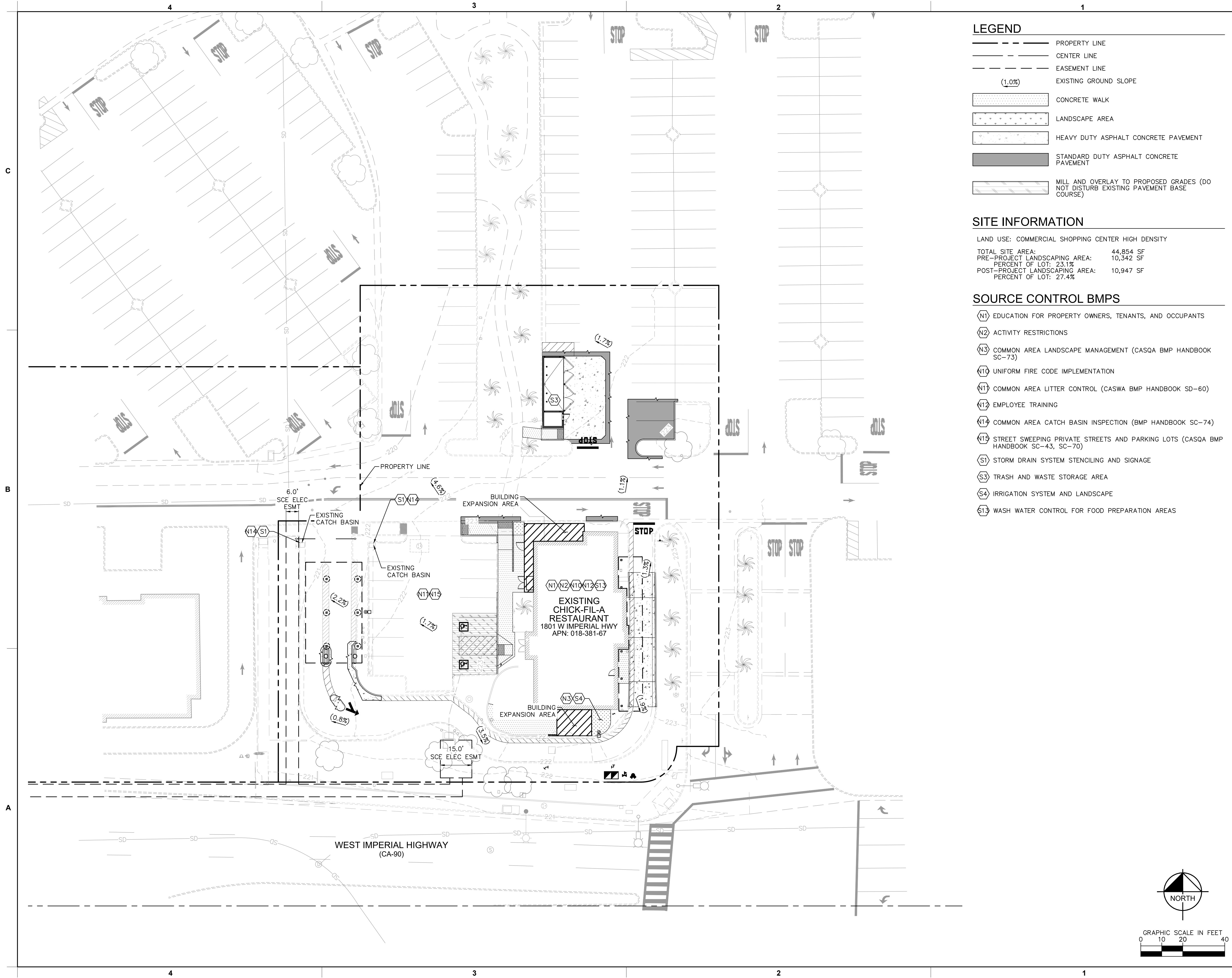
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SHEET
GRADING & UTILITY PLAN

SHEET NUMBER
C300

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23 August 2024



LEGEND

- PROPERTY LINE
- - - CENTER LINE
- - - EASEMENT LINE
- (1.0%) EXISTING GROUND SLOPE
- [Pattern] CONCRETE WALK
- [Pattern] LANDSCAPE AREA
- [Pattern] HEAVY DUTY ASPHALT CONCRETE PAVEMENT
- [Pattern] STANDARD DUTY ASPHALT CONCRETE PAVEMENT
- [Pattern] MILL AND OVERLAY TO PROPOSED GRADES (DO NOT DISTURB EXISTING PAVEMENT BASE COURSE)

SITE INFORMATION

LAND USE: COMMERCIAL SHOPPING CENTER HIGH DENSITY

TOTAL SITE AREA: 44,854 SF
 PRE-PROJECT LANDSCAPING AREA: 10,342 SF
 PERCENT OF LOT: 23.1%
 POST-PROJECT LANDSCAPING AREA: 10,947 SF
 PERCENT OF LOT: 27.4%

- SOURCE CONTROL BMPs**
- (N1) EDUCATION FOR PROPERTY OWNERS, TENANTS, AND OCCUPANTS
 - (N2) ACTIVITY RESTRICTIONS
 - (N3) COMMON AREA LANDSCAPE MANAGEMENT (CASQA BMP HANDBOOK SC-73)
 - (N10) UNIFORM FIRE CODE IMPLEMENTATION
 - (N11) COMMON AREA LITTER CONTROL (CASWA BMP HANDBOOK SD-60)
 - (N12) EMPLOYEE TRAINING
 - (N14) COMMON AREA CATCH BASIN INSPECTION (BMP HANDBOOK SC-74)
 - (N15) STREET SWEEPING PRIVATE STREETS AND PARKING LOTS (CASQA BMP HANDBOOK SC-43, SC-70)
 - (S1) STORM DRAIN SYSTEM STENCILING AND SIGNAGE
 - (S3) TRASH AND WASTE STORAGE AREA
 - (S4) IRRIGATION SYSTEM AND LANDSCAPE
 - (S13) WASH WATER CONTROL FOR FOOD PREPARATION AREAS



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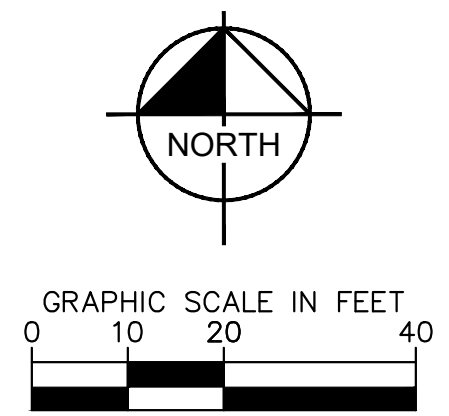
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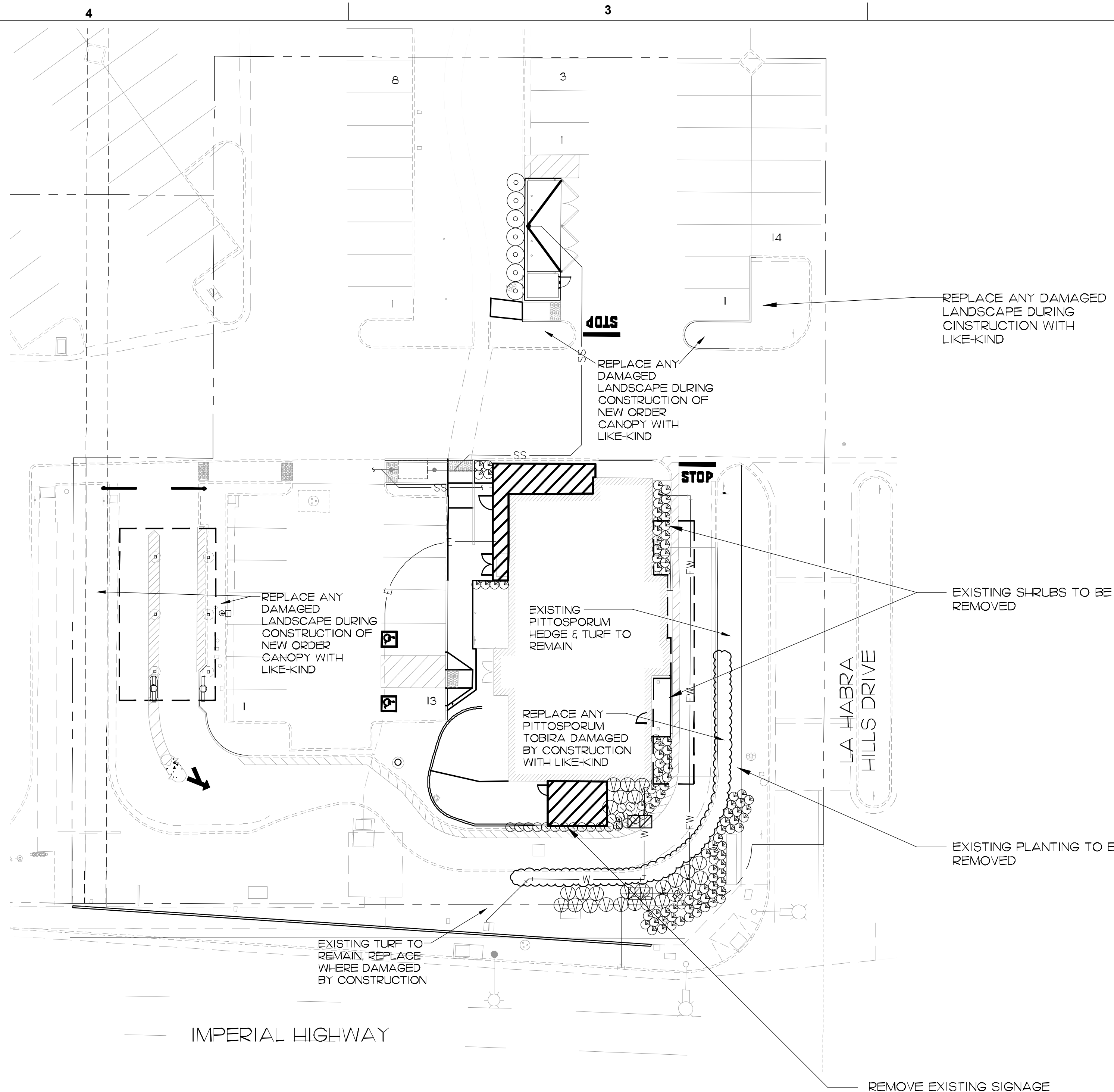
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SHEET
STORMWATER CONTROL PLAN

SHEET NUMBER
C400





PLANTING LEGEND

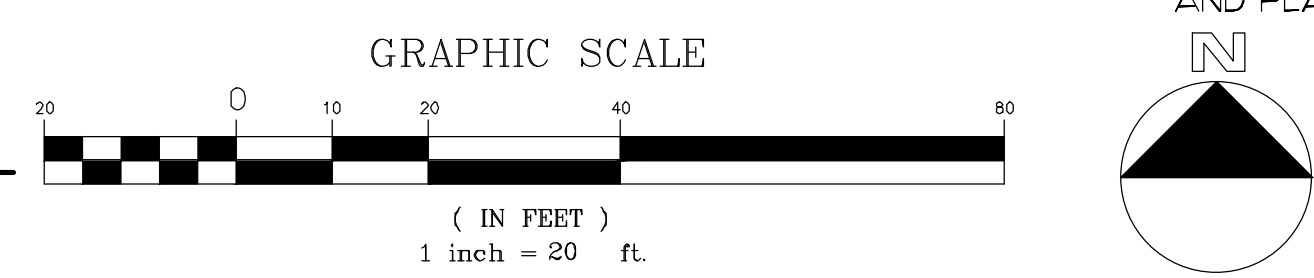
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS REGION 3
SHRUBS						
⊙	DIANELLA R. 'LITTLE REV'	DWARF FLAX LILY	5 GAL.	20	2'-6" O.C.	L
⊙	DIANELLA T. 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL.	100	2'-6" O.C.	L
⊙	LEYMUS CINEREUS	GIANT WILD RYE	5 GAL.	26	4'-0" O.C.	L
⊙	PODOCARPUS M. 'MAKI'	SHRUBBY YEWE	15 GAL.	7	5'-0" O.C. COLUMNAR FULL TO GROUND	L

SEE SHEET L-1.I FOR TREE PLANTING PLAN

LANDSCAPE CALCULATIONS (WITHIN LIMIT OF WORK ONLY)	
SHRUB AREA:	3,365 S.F.
TREE AREA:	160 S.F.
TURF AREA:	0 S.F.
TOTAL LANDSCAPE AREA:	3,525 S.F.

LANDSCAPE CALCULATIONS (WITHIN PL/TOTAL SITE)	
SHRUB & TREE AREA COMBINED (SITE TOTAL):	10,947 S.F.
TOTAL PARKING AREA (WITHIN PL):	12,887 S.F.
TOTAL PARKING AREA LANDSCAPED (WITHIN PL):	4,057 S.F.
% OF LANDSCAPE AREA TO PARKING AREA:	31.5%
(7% REQUIRED)	
TOTAL PARKING SPACES:	38
TOTAL TREES PROVIDED IN PARKING AREA:	11
(1 PER 10 SPACES REQUIRED)	
L.F. OF STREET FRONTAGE	290 L.F.
TREES PROVIDED ON STREET FRONTAGE:	16
(1 PER 20 L.F.)	

I SHRUB PLANTING PLAN
SCALE: 1" = 20'-0"



PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS. WWW.ANLA.ORG
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- PERIMETER OF ALL RAISED PLANTERS TO HAVE A ROOT BARRIER TO REDIRECT ROOT GROWTH PER MANUFACTURER'S SPECIFICATIONS.
- FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
- FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
- ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM MULCH COVER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS. ALL PLANTER BEDS TO BE AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS ARE ALLOWED.
- ALL PLANTING SHALL BE IRRIGATED WITH LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AUTOMATIC REMOTE CONTROL VALVES AND AND TIED INTO AN AUTOMATIC IRRIGATION CONTROLLER.

SEE SHEET L-1.I FOR TREE PLANTING PLAN

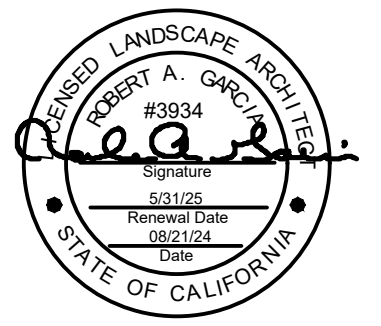


Chick-fil-A

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CHICK-FIL-A
LA HABRA MARKETPLACE
1801 W IMPERIAL HWY
LA HABRA, CA 90631

FSR#02043

BUILDING TYPE / SIZE:
RELEASE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 097672135
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SHEET
SHRUB PLANTING PLAN
SHEET NUMBER

L-1.0

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package.

Reference Evapotranspiration (Eto): 50.4 Landscape Area Sector Type Residential
(select one): Non-Residential

	Hydrozone #/Planting Description	Location	Plant Factor ^a (PF)	Irrigation Method ^d	Irrigation Efficiency ^e (IE)	ETAF (PF/IE)	Landscape Area (sq-ft)	ETAF x Area	Estimated Total Water Use ^f (ETWU)
Regular Landscape Area									
1	SH-RUB		0.30	DRIP	0.81	0.37	3,365	1,245.05	38,905
2	TREES		0.40	BUBBLER	0.75	0.53	160	84.8	2,650
3									
4									
5									
6									
7									
8									
9									
10									
11									
12									

Average	Total	Total
	3,525	1,329.85

Average ETAF for Regular Landscape Areas* (circle one): Compliance Not in Compliance

Special Landscape Area									
SLA-1									
SLA-2									
SLA-3									
SLA-4									
SLA-5									

Totals

Total Landscape Area	3,493
Site wide ETAF	1,318.01

ETWU Total	41,555
Maximum Allowed Water Allowance (MAWA)	49,567

Appendix B: Certification of Landscape Design

CERTIFICATION OF LANDSCAPE DESIGN

I hereby certify that:

- I am a professional appropriately licensed in the State of California to provide professional landscape design services.
- The landscape design and water use calculations for the property located at CHICK-FIL-A 1801 W. IMPERIAL HWY (provide street address or parcel number(s)) were prepared by me or under my supervision.
- The landscape design and water use calculations for the identified property comply with the requirements of the City of La Habra Water Efficient Landscape Ordinance (Municipal Code Section 18.16) and the City of La Habra Guidelines for Implementation of the City of La Habra Water Efficient Landscape Ordinance.
- The information I have provided in this Certificate of Landscape Design is true and correct and is hereby submitted in compliance with the City of La Habra Guidelines for Implementation of the City of La Habra Water Efficient Landscape Ordinance.

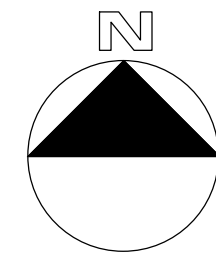
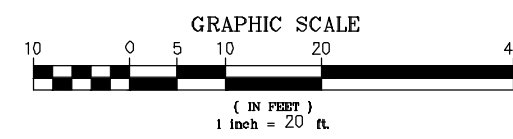
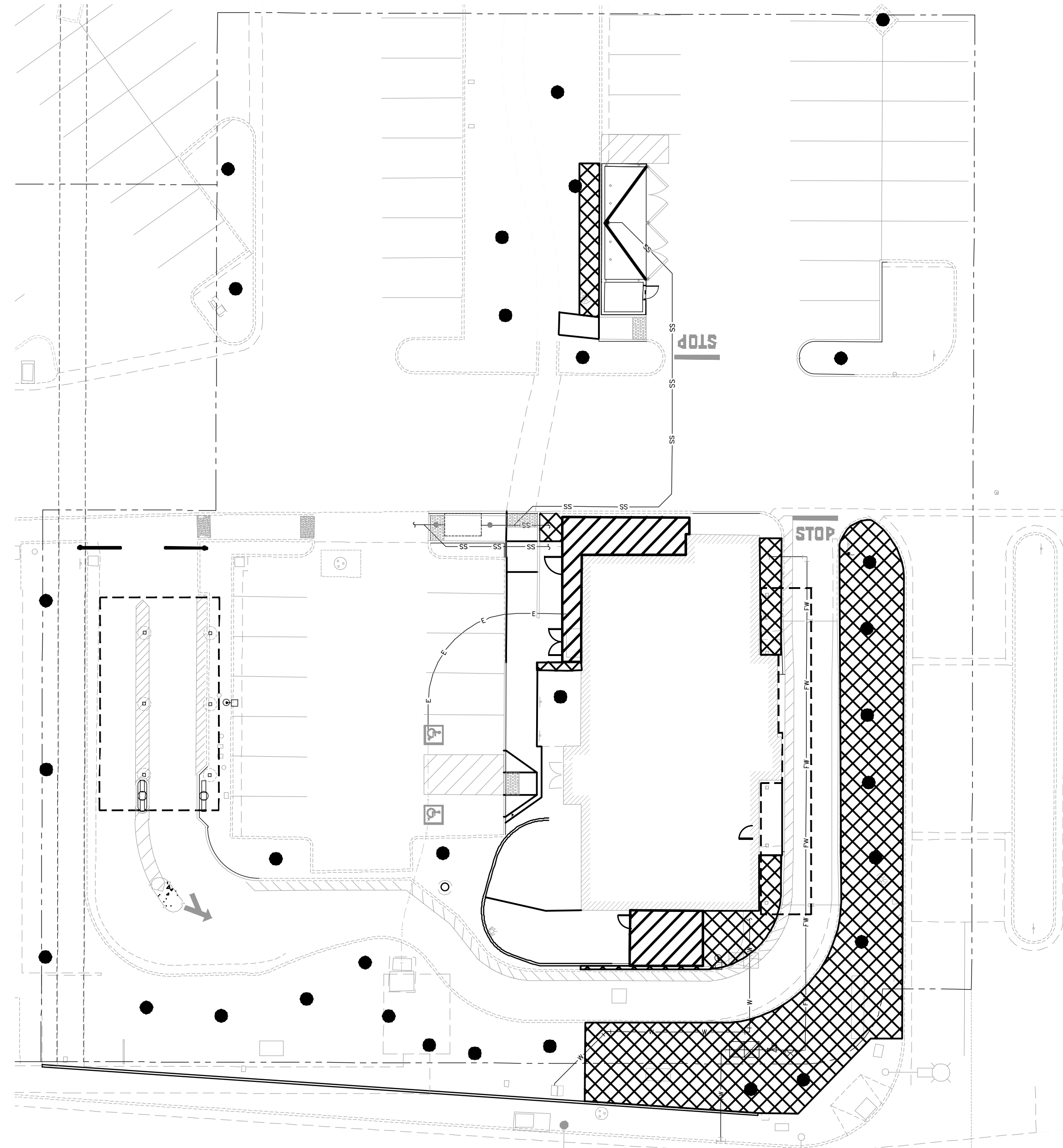
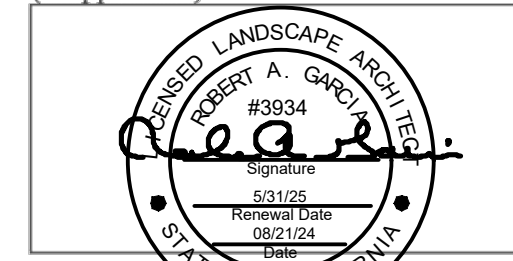
ROBERT A. GARCIA 8/21/24
Print Name Date

Robert A. Garcia 3934
Signature License Number

414 OLIVE STREET, STE. 227, SANTA BARBARA, CA 93101
Address

949-489-5623 NOURIAN@HOURIANASSOCIATES.COM
Telephone E-mail Address

Landscape Design Professional's Stamp
(If applicable)



HYDROZONE MAP
SCALE: 1" = 20'-0"

- HYDROZONE MAP LEGEND**
- SH-RUB - MIXED LOW TO MODERATE WATER = 3,365 S.F. IRRIGATION - HIGH EFFICIENCY DRIP TUBING PERCENTAGE OF LANDSCAPED AREA - 95%
 - TREES - MODERATE WATER USE = 160 S.F. IRRIGATION - HIGH EFFICIENCY BUBBLER NOZZLES PERCENTAGE OF LANDSCAPED AREA - 5%

WATER CONSERVATION STATEMENT

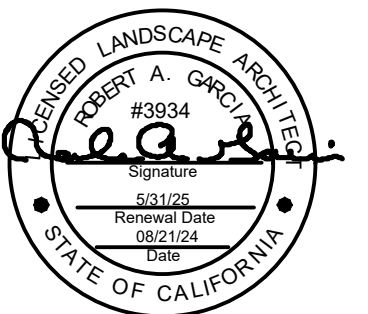
- ALL PLANT MATERIALS SELECTED FOR THIS SITE WERE APPROPRIATE FOR THE GEOGRAPHICAL LOCATION AND LOCAL CLIMATE, THEIR ADAPTABILITY TO DROUGHT. DATA FROM WUCOLS III HAS BEEN USED FOR DETERMINING SPECIES PLANT FACTORS FOR THE WATER USE CALCULATIONS.
- PLANTS WITH SIMILAR WATER USE REQUIREMENTS WERE GROUPED TOGETHER.
- SHRUB AREAS ARE PLANTED WITH LOW WATER USE PLANTS.
- IRRIGATION SECTIONS/HYDROZONES ARE SEPARATED BY CONSIDERING PLANT SPECIES FACTOR, PLANT DENSITY AND MICROCLIMATE. IF LOW WATER USE PLANTS ARE MIXED WITH MODERATE WATER USE PLANTS IN THE SAME HYDROZONE, THE MODERATE WATER USE FACTOR IS USED FOR THE WATER USE CALCULATION. SEE MWEL CALC. SHEETS.
- THE IRRIGATION SYSTEM UTILIZES LOW-VOLUME DISTRIBUTION W/ A MASTER VALVE, FLOW SENSOR, CHECK VALVES, ET BASED AUTOMATIC CONTROLLER W/ WATER BUDGETING TECHNOLOGY & RAIN SHUT-OFF.
- THE USE OF TURF IS LIMITED TO THE REQUIRED TURF-BLOCK AREA ONLY, AND IS WATER WITH HIGH EFFICIENCY ROTATOR NOZZLES.
- SPECIAL LANDSCAPE AREAS (CRUSHED ROCK) ARE UTILIZED TO REDUCE WATER USE AREAS.



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BUILDING TYPE / SIZE:
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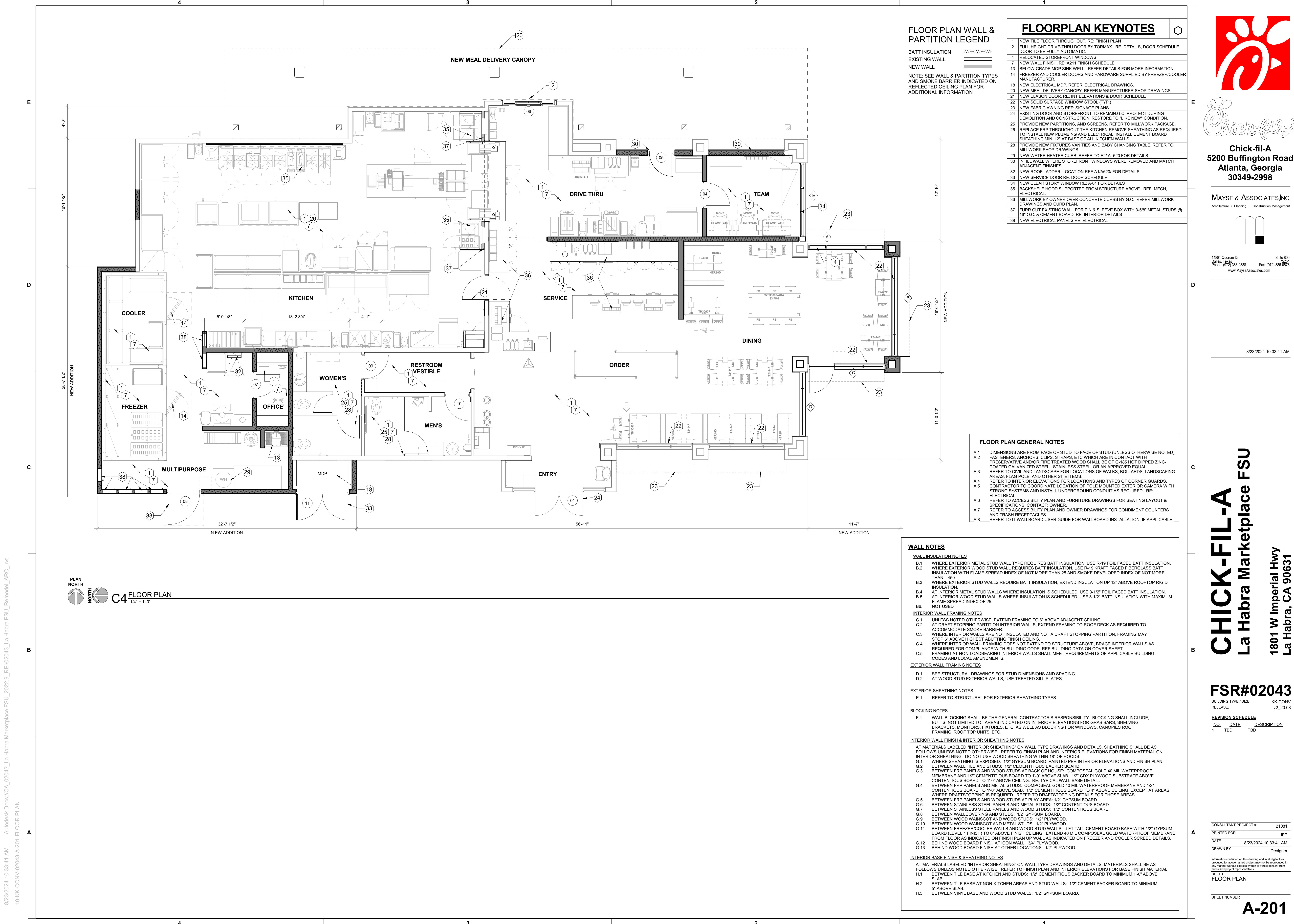
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WATER CONSERVATION PLAN
SHEET NUMBER



FLOOR PLAN WALL & PARTITION LEGEND

BATT INSULATION
 EXISTING WALL
 NEW WALL

NOTE: SEE WALL & PARTITION TYPES AND SMOKE BARRIER INDICATED ON REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION

FLOORPLAN KEYNOTES

- 1 NEW TILE FLOOR THROUGHOUT. RE: FINISH PLAN
- 2 FULL HEIGHT DRIVE-THRU DOOR BY TORMAX. RE: DETAILS, DOOR SCHEDULE. DOOR TO BE FULLY AUTOMATIC.
- 4 RELOCATED STOREFRONT WINDOWS
- 7 NEW WALL FINISH. RE: A211 FINISH SCHEDULE
- 13 BELOW GRADE MOP SINK WELL. REFER DETAILS FOR MORE INFORMATION.
- 14 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER.
- 18 NEW ELECTRICAL MDP. REFER ELECTRICAL DRAWINGS.
- 20 NEW MEAL DELIVERY CANOPY. REFER MANUFACTURER SHOP DRAWINGS.
- 21 NEW ELASON DOOR. RE: INT ELEVATIONS & DOOR SCHEDULE
- 22 NEW SOLID SURFACE WINDOW STOOL (TYP.)
- 23 NEW FABRIC AWNING REF: SIGNAGE PLANS
- 24 EXISTING DOOR AND STOREFRONT TO REMAIN G.C. PROTECT DURING DEMOLITION AND CONSTRUCTION. RESTORE TO "LIKE NEW" CONDITION.
- 25 PROVIDE NEW PARTITIONS, AND SCREENS. REFER TO MILLWORK PACKAGE
- 26 REPLACE FRP THROUGHOUT THE KITCHEN REMOVE SHEATHING AS REQUIRED TO INSTALL NEW PLUMBING AND ELECTRICAL. INSTALL CEMENT BOARD SHEATHING MIN. 1/2" AT BASE OF ALL KITCHEN WALLS.
- 28 PROVIDE NEW FIXTURES VANITIES AND BABY CHANGING TABLE. REFER TO MILLWORK SHOP DRAWINGS
- 29 NEW WATER HEATER CURB REFER TO E2/ A- 620 FOR DETAILS
- 30 INFILL WALL WHERE STOREFRONT WINDOWS WERE REMOVED AND MATCH ADJACENT FINISHES
- 32 NEW ROOF LADDER LOCATION REF A1/A620/ FOR DETAILS
- 33 NEW SERVICE DOOR RE: DOOR SCHEDULE
- 34 NEW CLEAR STORY WINDOW RE: A-01 FOR DETAILS
- 35 BACKSHELF HOOD SUPPORTED FROM STRUCTURE ABOVE. REF. MECH. ELECTRICAL.
- 36 MILLWORK BY OWNER OVER CONCRETE CURBS BY G.C. REFER MILLWORK DRAWINGS AND CURB PLAN.
- 37 FLURR OUT EXISTING WALL FOR PIN & SLEEVE BOX WITH 3-5/8" METAL STUDS @ 16" O.C. & CEMENT BOARD. RE: INTERIOR DETAILS
- 38 NEW ELECTRICAL PANELS RE: ELECTRICAL

FLOOR PLAN GENERAL NOTES

- A.1 DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (UNLESS OTHERWISE NOTED).
- A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
- A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
- A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
- A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.
- A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT: OWNER.
- A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.
- A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.

WALL NOTES

- WALL INSULATION NOTES**
- B.1 WHERE EXTERIOR METAL STUD WALL TYPE REQUIRES BATT INSULATION. USE R-19 FOIL FACED BATT INSULATION.
 - B.2 WHERE EXTERIOR WOOD STUD WALL REQUIRES BATT INSULATION. USE R-19 KRAFT FACED FIBERGLASS BATT INSULATION WITH FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.
 - B.3 WHERE EXTERIOR STUD WALLS REQUIRE BATT INSULATION, EXTEND INSULATION UP 12" ABOVE ROOFTOP RIGID INSULATION.
 - B.4 AT INTERIOR METAL STUD WALLS WHERE INSULATION IS SCHEDULED. USE 3-1/2" FOIL FACED BATT INSULATION.
 - B.5 AT INTERIOR WOOD STUD WALLS WHERE INSULATION IS SCHEDULED. USE 3-1/2" BATT INSULATION WITH MAXIMUM FLAME SPREAD INDEX OF 25.
 - B.6 NOT USED
- INTERIOR WALL FRAMING NOTES**
- C.1 UNLESS NOTED OTHERWISE, EXTEND FRAMING TO 6" ABOVE ADJACENT CEILING
 - C.2 AT DRAFT STOPPING PARTITION INTERIOR WALLS, EXTEND FRAMING TO ROOF DECK AS REQUIRED TO ACCOMMODATE SMOKE BARRIER.
 - C.3 WHERE INTERIOR WALLS ARE NOT INSULATED AND NOT A DRAFT STOPPING PARTITION, FRAMING MAY STOP 6" ABOVE HIGHEST ABUTTING FINISH CEILING.
 - C.4 WHERE INTERIOR WALL FRAMING DOES NOT EXTEND TO STRUCTURE ABOVE, BRACE INTERIOR WALLS AS REQUIRED FOR COMPLIANCE WITH BUILDING CODE. REF BUILDING DATA ON COVER SHEET.
 - C.5 FRAMING AT NON-LOADBEARING INTERIOR WALLS SHALL MEET REQUIREMENTS OF APPLICABLE BUILDING CODES AND LOCAL AMENDMENTS.
- EXTERIOR WALL FRAMING NOTES**
- D.1 SEE STRUCTURAL DRAWINGS FOR STUD DIMENSIONS AND SPACING.
 - D.2 AT WOOD STUD EXTERIOR WALLS, USE TREATED SILL PLATES.
- EXTERIOR SHEATHING NOTES**
- E.1 REFER TO STRUCTURAL FOR EXTERIOR SHEATHING TYPES.
- BLOCKING NOTES**
- F.1 WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC. AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.
- INTERIOR WALL FINISH & INTERIOR SHEATHING NOTES**
- G.1 AT MATERIALS LABELED "INTERIOR SHEATHING" ON WALL TYPE DRAWINGS AND DETAILS, SHEATHING SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE. REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH MATERIAL ON INTERIOR SHEATHING. DO NOT USE WOOD SHEATHING WITHIN 18" OF HOODS.
 - G.2 WHERE SHEATHING IS EXPOSED: 1/2" GYPSUM BOARD, PAINTED PER INTERIOR ELEVATIONS AND FINISH PLAN.
 - G.3 BETWEEN WALL TILE AND STUDS: 1/2" CEMENTITIOUS BACKER BOARD
 - G.4 BETWEEN FRP PANELS AND WOOD STUDS AT BACK OF HOUSE, COMPOSEAL GOLD 40 MIL WATERPROOF MEMBRANE AND 1/2" CEMENTITIOUS BOARD TO 1'-0" ABOVE SLAB. 1/2" CDX PLYWOOD SUBSTRATE ABOVE CONTENTIOUS BOARD TO 1'-0" ABOVE CEILING. RE: TYPICAL WALL BASE DETAIL.
 - G.5 BETWEEN FRP PANELS AND METAL STUDS: COMPOSEAL GOLD 40 MIL WATERPROOF MEMBRANE AND 1/2" CEMENTITIOUS BOARD TO 1'-0" ABOVE SLAB. 1/2" CEMENTITIOUS BOARD TO 4" ABOVE CEILING, EXCEPT AT AREAS WHERE DRAFT STOPPING IS REQUIRED. REFER TO DRAFT STOPPING DETAILS FOR THOSE AREAS.
 - G.6 BETWEEN STAINLESS STEEL PANELS AND METAL STUDS: 1/2" CEMENTITIOUS BOARD.
 - G.7 BETWEEN STAINLESS STEEL PANELS AND WOOD STUDS: 1/2" CEMENTITIOUS BOARD.
 - G.8 BETWEEN WALLCOVERING AND STUDS: 1/2" GYPSUM BOARD.
 - G.9 BETWEEN WOOD WAINSCOT AND WOOD STUDS: 1/2" PLYWOOD.
 - G.10 BETWEEN WOOD WAINSCOT AND METAL STUDS: 1/2" PLYWOOD.
 - G.11 BETWEEN FREEZER/COOLER WALLS AND WOOD STUD WALLS: 1 FT TALL CEMENT BOARD BASE WITH 1/2" GYPSUM BOARD (LEVEL 1 FINISH) TO 6" ABOVE FINISH CEILING. EXTEND 40 MIL COMPOSEAL GOLD WATERPROOF MEMBRANE FROM FLOOR AS INDICATED ON FINISH PLAN UP WALL AS INDICATED ON FREEZER AND COOLER SCREENED DETAILS.
 - G.12 BEHIND WOOD BOARD FINISH AT CON WALL: 3/4" PLYWOOD.
 - G.13 BEHIND WOOD BOARD FINISH AT OTHER LOCATIONS: 1/2" PLYWOOD.
- INTERIOR BASE FINISH & SHEATHING NOTES**
- H.1 AT MATERIALS LABELED "INTERIOR SHEATHING" ON WALL TYPE DRAWINGS AND DETAILS, MATERIALS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE. REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR BASE FINISH MATERIAL.
 - H.1 BETWEEN TILE BASE AT KITCHEN AND STUDS: 1/2" CEMENTITIOUS BACKER BOARD TO MINIMUM 1'-0" ABOVE SLAB.
 - H.2 BETWEEN TILE BASE AT NON-KITCHEN AREAS AND STUD WALLS: 1/2" CEMENT BACKER BOARD TO MINIMUM 5" ABOVE SLAB.
 - H.3 BETWEEN VINYL BASE AND WOOD STUD WALLS: 1/2" GYPSUM BOARD.

PLAN NORTH
C4 FLOOR PLAN
 1/4" = 1'-0"



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 La Habra Marketplace FSU
 1801 W Imperial Hwy
 La Habra, CA 90631

FSR#02043
 BUILDING TYPE / SIZE: KK-CONV
 RELEASE: v2_20_08

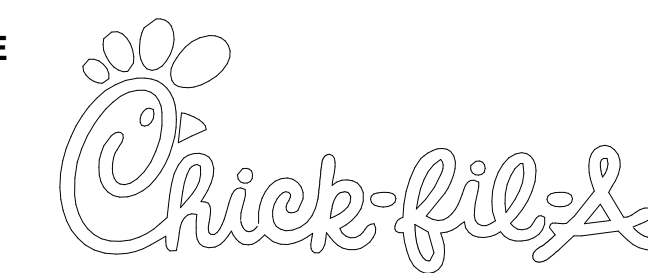
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SHEET FLOOR PLAN

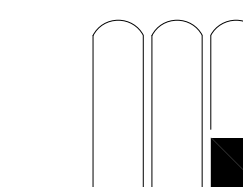
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CHICK-FIL-A
La Habra Marketplace FSU
1801 W Imperial Hwy
La Habra, CA 90631

FSR#02043

BUILDING TYPE / SIZE: KK-CONV
RELEASE: v2_20_08

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

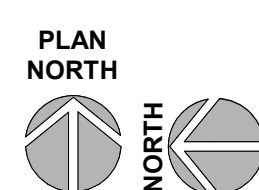
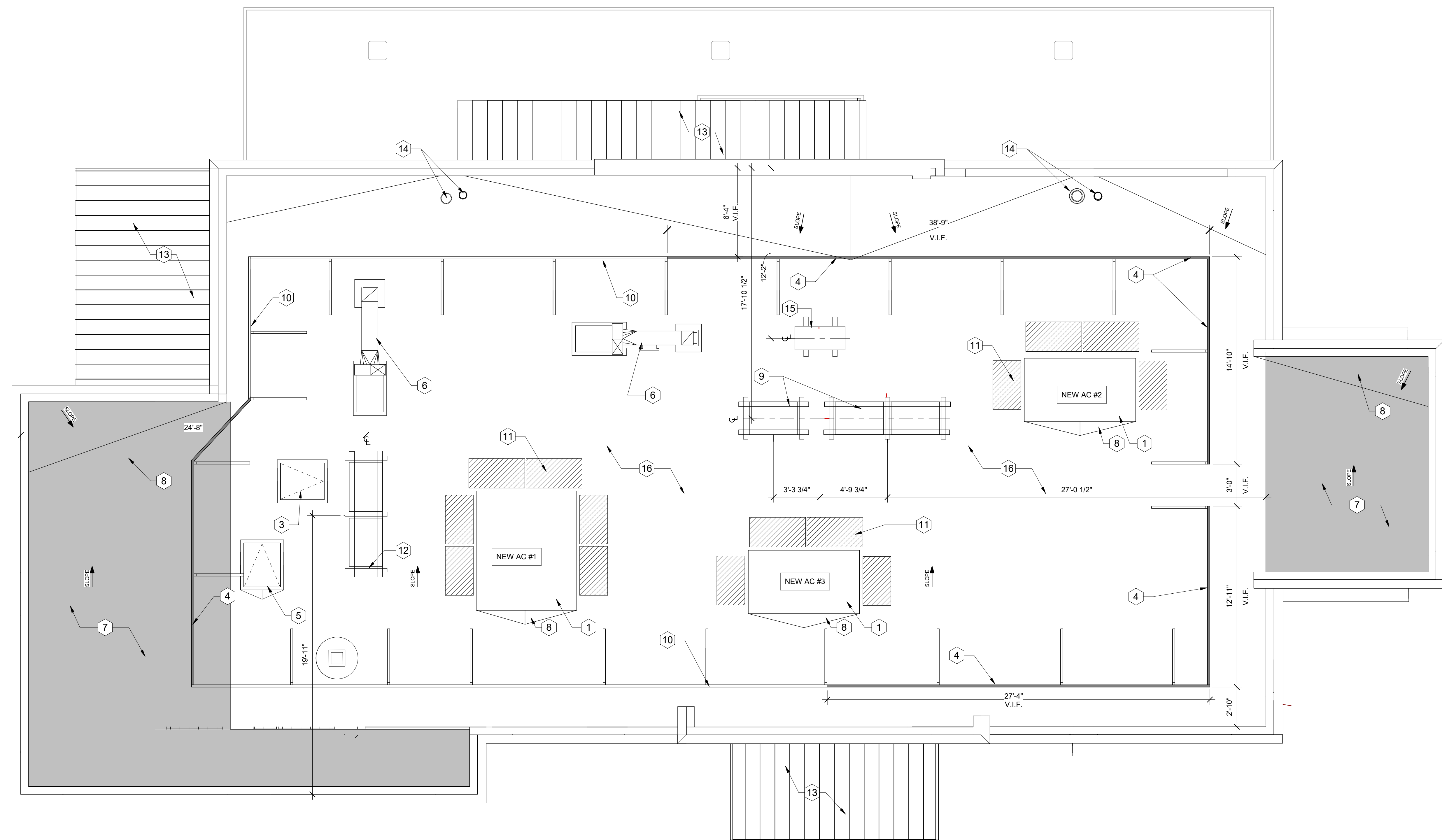
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SHEET ROOF PLAN

SHEET NUMBER

A-230



C4 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN LEGEND

- NEW ROOF
- 2'-6" X 3'-0" ROOF HATCH, BILCO OR EQUAL
- REMOTE CONDENSING UNIT, RE: KITCHEN EQUIPMENT SCHEDULE
AIR FLOW DIRECTION
- RTU, RE: MECHANICAL

ROOF PLAN GENERAL NOTES

- A.1 R-VALUE OF RIGID INSULATION MAY VARY DEPENDING ON MANUFACTURER. GC SHALL BE RESPONSIBLE FOR VERIFYING APPROPRIATE THICKNESS TO MEET R-VALUE REQUIREMENTS.
- A.2 VERTICAL ROOF MEMBRANE SURFACES ON VERTICAL BACK WALLS OF PARAPET AND KICKERS (WHERE USED) SHALL BE TAN. ALL OTHER ROOF MEMBRANE SURFACES SHALL BE WHITE.
- A.3 PROVIDE PIPE SUPPORTS (NOT SHOWN HERE) FOR GAS AND CONDENSATE LINES AT 4'-0" O.C. MAX.
- A.4 REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING ROOF PLANS FOR INFORMATION NOT SHOWN HERE.
- A.5 PAINT ALL EXPOSED GAS PIPING ON ROOF DARK BRONZE (2 COATS).
- A.6 ALL CONDENSATE LINES SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED TO ELIMINATE SAGGING.
- A.7 PROVIDE SIDEWALL MOUNTED LIGHT FIXTURE PER E1A504. COORDINATE LOCATION WITH C.M.
- A.8 ROOF PENETRATIONS TO BE INSTALLED PER DETAILS C2/A504 AND D1/A504.

ROOF PLAN KEYNOTES

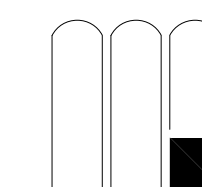
1	NEW RTU REFER TO MECHANICAL DRAWINGS FOR DETAILS
3	LOCK AND ABANDON EXISTING ROOF HATCH
4	GC TO SUPPLY AND INSTALL NEW EQUIPMENT SCREEN TO MATCH EXISTING
5	NEW ROOF ACCESS LADDER AND HATCH
6	NEW EXHAUST FANS, REF. MECHANICAL DRAWINGS
7	NEW ROOF: MATCH EXISTING
8	CRIBET OVER TAPERED INSULATION OVER ROOF DECK. SLOPE 1/4" PER FOOT MIN. MATCH EXISTING ROOFING.
9	NEW ICE MACHINE CONDENSER, COORDINATE INSTALLATION WITH EQUIPMENT INSTALLERS
10	EXISTING EQUIPMENT SCREEN TO REMAIN.
11	NEW WALK ON MATS
12	NEW WALK IN CONDENSER UNITS. COORDINATE INSTALLATION WITH EQUIPMENT INSTALLERS.
13	NEW STANDING SEAM METAL ROOF
14	EXISTING ROOF AND OVERFLOW DRAINS
15	NEW MINI SPLIT UNIT, REFER TO MECHANICAL DRAWINGS
16	REPLACE EXISTING ROOFING.



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

MAYSE & ASSOCIATES INC.
Architecture - Planning - Construction Management



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8/21/2024 9:29:52 AM

CHICK-FIL-A
La Habra Marketplace FSU

1801 W Imperial Hwy
La Habra, CA 90631

FSR#02043

BUILDING TYPE / SIZE: KK-CONV
RELEASE: v2_20_08

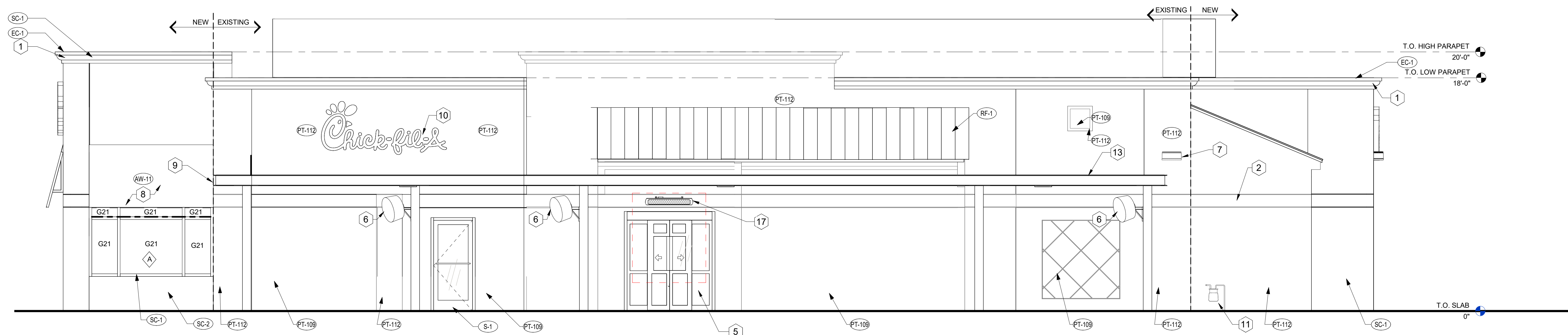
REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 21081
PRINTED FOR IFP
DATE 8/21/2024 9:29:52 AM
DRAWN BY Designer

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EXTERIOR ELEVATIONS

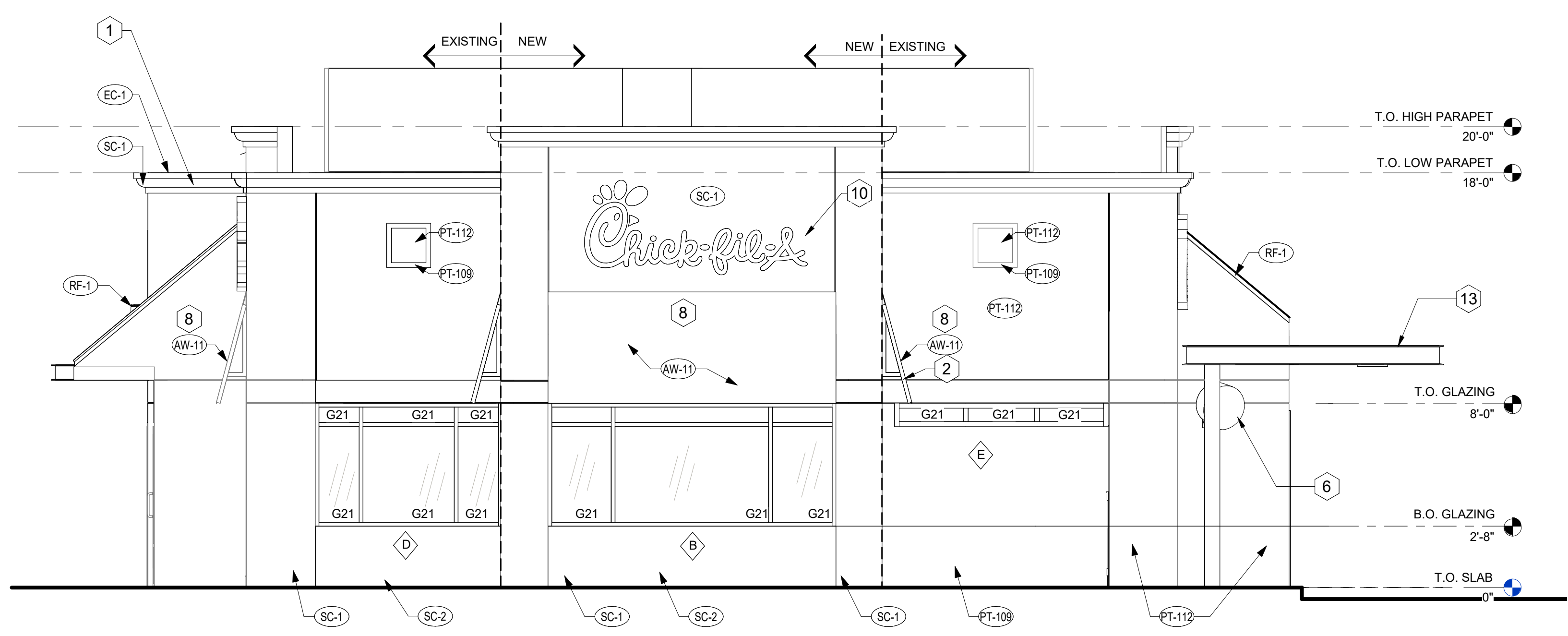
SHEET NUMBER
A-301



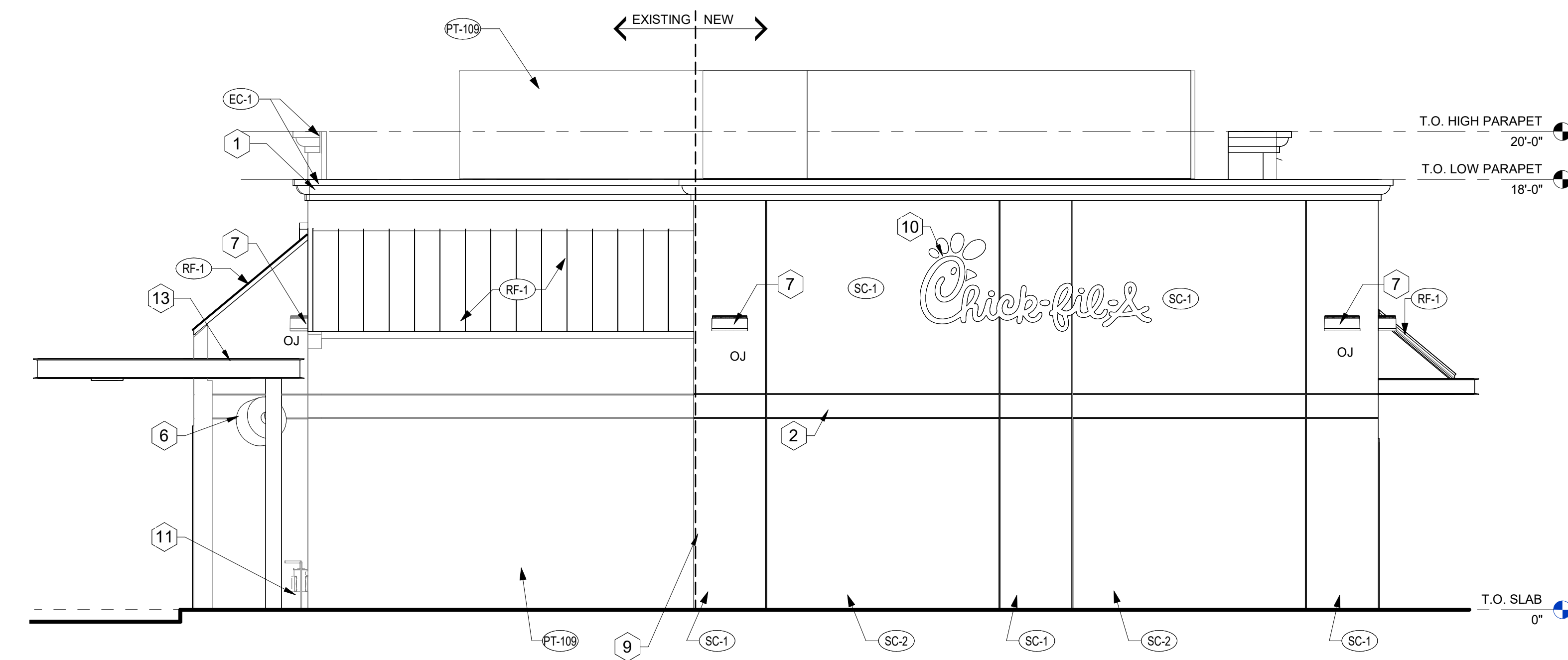
D4 EAST ELEVATION
1/4" = 1'-0"



C4 WEST ELEVATION
1/4" = 1'-0"



B1 SOUTH ELEVATION
1/4" = 1'-0"



B2 NORTH ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
EXTERIOR						
AW-11	FABRIC AWNING	SUNBRELLA	SALTE	4684-000	BLACK	
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19S1-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST	EXCEPTIONAL METALS		DARK BRONZE (MATTE)	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-109	EXTERIOR PAINT	BENJAMIN MOORE		AF-70	STORM AF-70	EXTERIOR STUCCO PAINT
PT-112	EXTERIOR PAINT	BENJAMIN MOORE		BEW379	IGLOO DEW	EXTERIOR STUCCO PAINT
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS
RF-1	STANDING SEAM ROOF	BERRIDGE	TEE-PANEL INSULATED		PAINT DARK BRONZE	
S-1	STOREFRONT	YRK	YES 45		CLEAR ANODIZED	
SC-1	STUCCO	STO	POWERWALL		IGLOO DEW (PT-112)	FINISH: SAND MEDIUM
SC-2	STUCCO	STO	POWERWALL		STORM AF-70 (PT-109)	FINISH: SAND MEDIUM

GLAZING SCHEDULE

MARK	THICKNESS	TYPE	TINT	REMARKS
G3	1/8" (2)	LAMINATED	CLEAR	DUAL LAYER
G21	1"	TEMPERED	CLEAR - LOW-E	PROVIDE THERMALLY BROKEN AT EXTERIOR LOCATIONS

NOTES:
1. ALL GLASS TO BE G21 U.N.O.
2. PROTOTYPICAL STOREFRONT SYSTEM (MULLIONS & GLAZING COMBINED) U-VALUES: 0.46. SHGC: 0.28 (CLEAR GLASS - TINTED GLASS WILL NOT BE ACCEPTED)
3. SITE ADAPT ARCHITECT OF RECORD RESPONSIBLE FOR UPDATING GLAZING VALUES PER LOCAL CODE REQUIREMENTS. RE: SPECIFICATIONS, SECTION 06850.

EXTERIOR GENERAL NOTES

- EXISTING EXTERIOR LIGHTING TO REMAIN UNLESS NOTED OTHERWISE. RELOCATE EXISTING ELECTRICAL SERVICE WHERE POSSIBLE FOR NEW EXTERIOR WALL SCONCES.
- EXISTING METAL COPING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL MATERIALS TO MATCH EXISTING BUILDING - GO TO VERIFY ALL COLORS WITH GFA CONSTRUCTION MANAGER PRIOR TO APPLICATION. REFER TO CIVIL DRAWINGS FOR FINISH GRADES AND LOCATION OF WALKS.
- PROVIDE BLOCKING FOR ALL EXTERIOR MOUNTED LIGHT FIXTURES AND AWNINGS AS REQUIRED.

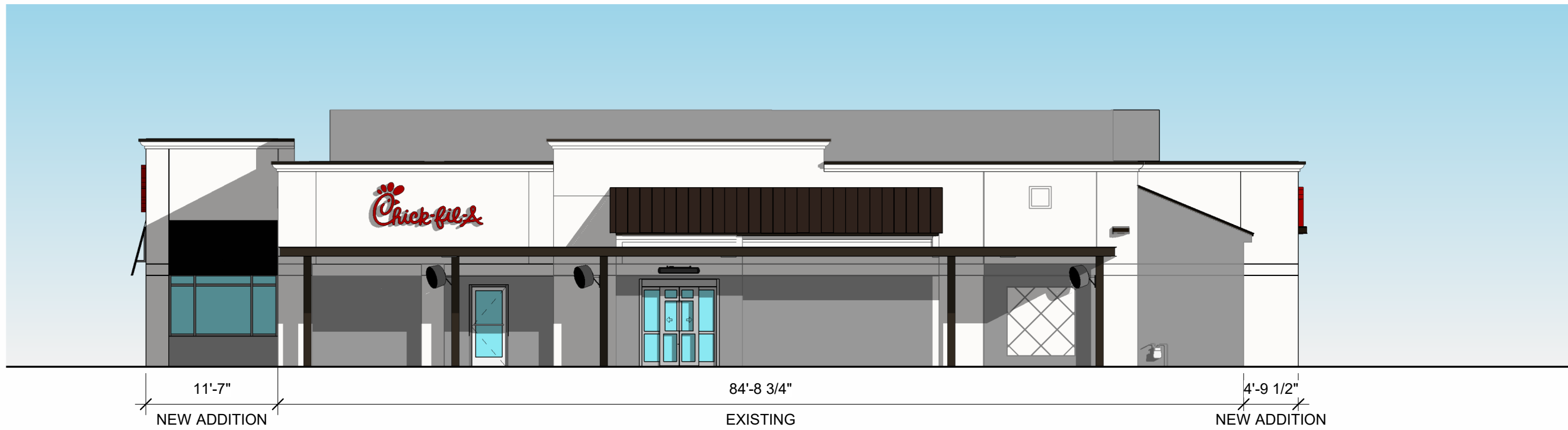
EXTERIOR KEYNOTES

- STUCCO FINISH OVER FOAM CORNICE TO MATCH EXISTING PROFILE
- STUCCO BAND TO MATCH EXISTING PROFILE
- FULL HEIGHT DRIVE-THRU DOOR BY TORMAX. RE: DETAILS, DOOR SCHEDULE. DOOR TO BE FULLY AUTOMATIC.
- COLUMN MOUNTED MISTING FAN. RE: ELECTRICAL, PLUMBING, CANOPY MFG. DRAWINGS.
- NEW LED LIGHT FIXTURES RE: ELECTRICAL
- NEW FABRIC AWNING REF: SIGNAGE PLANS
- STUCCO REVEAL TO MATCH EXISTING TYPICAL.
- BUILDING SIGNS BY SIGN VENDOR
- EXISTING GAS METER RE: CIVIL AND PLUMBING
- NEW MEAL DELIVERY CANOPY REF: MANUFACTURER SHOP DRAWINGS AND A-105 FOR DETAILS
- NEW LOADING DOOR REF: A-501 FOR DETAILS
- NEW METAL CANOPY BY SIGN VENDOR, PROVIDE BLOCKING AS REQUIRED. RE: SIGNAGE PACKAGE
- NEW ELECTRIC HEATER: RE: ELECTRICAL

8/21/2024 9:29:52 AM Autodesk Docs://CA_02043_La Habra Marketplace FSU_2022.9_REI02043_La Habra FSU_Remodel_ARC.rvt 10-KK-CONV-02043-A-301-EXTERIOR ELEVATIONS

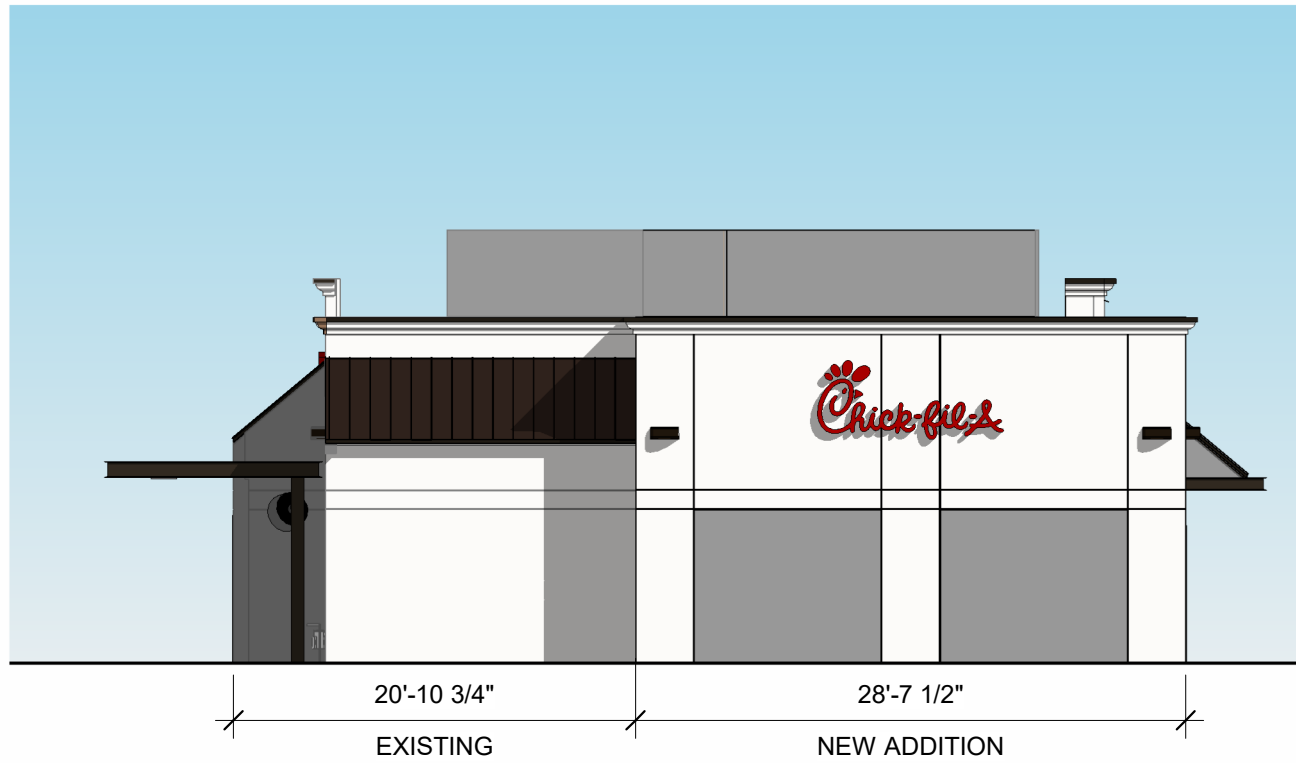


WEST ELEVATION
1" = 10'-0"



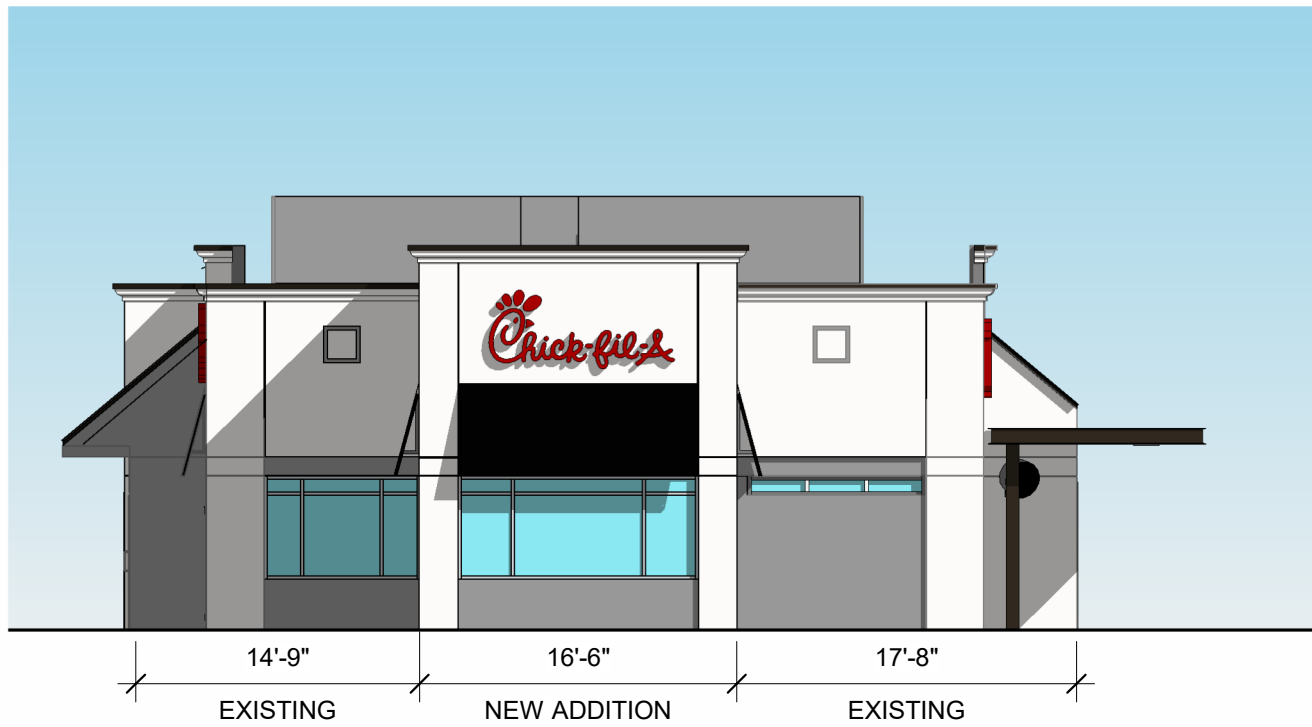
EAST ELEVATION
1" = 10'-0"

EXTERIOR ELEVATIONS



NORTH ELEVATION

1" = 10'-0"



SOUTH ELEVATION

1" = 10'-0"

EXTERIOR ELEVATIONS



SC-1
STUCCO SYSTEM
PAINT PT-112
BENJAMIN MOORE IGLOO DEW379



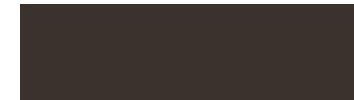
SC-2
SRUCCO SYSTEM
PAINT PT- 109
BENJAMIN MOORE STORM AF-70



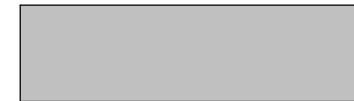
RF-1
STANDING SEAM ROOF
COLOR: DARK BRONZE



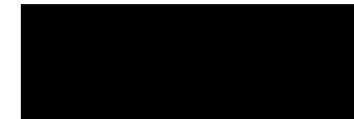
EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE



PT-9
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS



ST-1
STOREFRONT
COLOR: CLEAR ANODIZE



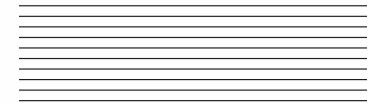
AW-11
FABRIC: AWNING
SUNBRELLA SLATE
COLOR: BLACK

BUILDING MATERIAL FINISHES

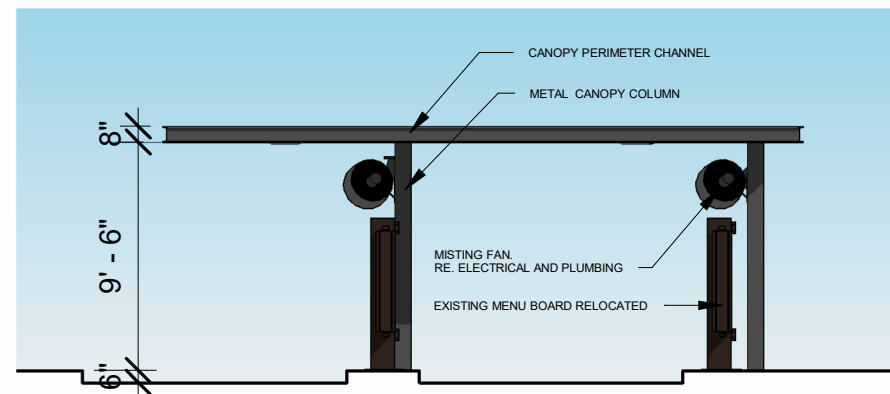
OP CANOPY FINISHES



CP-1
 PREFINISHED METAL
 COLOR: DARK BRONZE

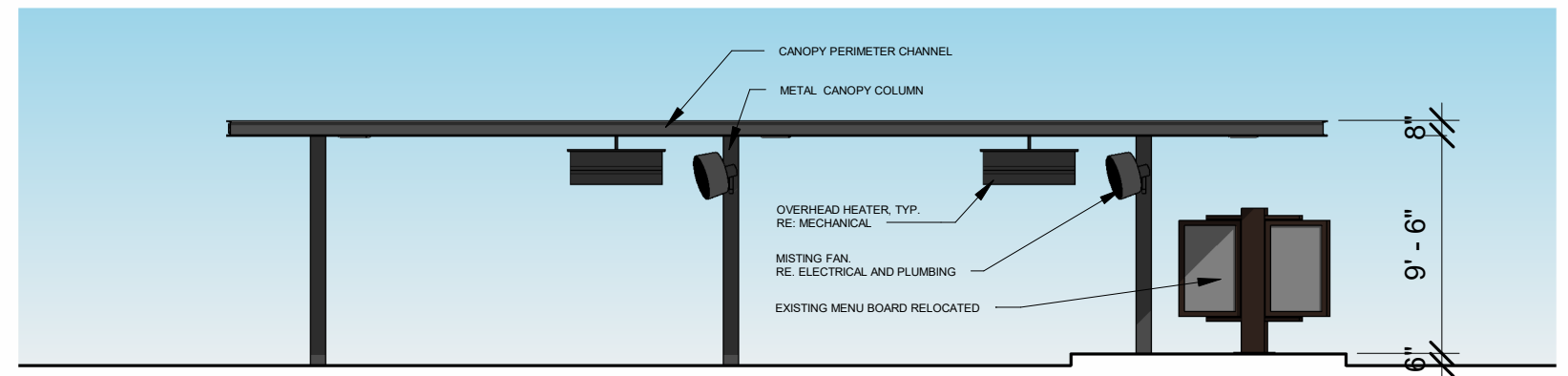


CP-2
 METAL DECKING
 COLOR: WHITE



EXIT ELEVATION

1/8" = 1'-0"



SIDE. ELEVATION

1/8" = 1'-0"

ORDER POINT CANOPY ELEVATIONS

